



St Edmundsbury
BOROUGH COUNCIL

Development Control Committee

7 July 2016

**Planning Application DC/15/1464/FUL
Unit B, Anglian Lane, Bury St Edmunds**

**Planning Application DC/15/1465/FUL
Unit C, Anglian Lane, Bury St Edmunds**

**Planning Application DC/15/1466/FUL
Unit D, Anglian Lane, Bury St Edmunds**

**Planning Application DC/15/1467/FUL
Unit E, Anglian Lane, Bury St Edmunds**

Date Registered:	29 July 2015	Expiry Date:	Extension of time to 1 August 2016
-------------------------	--------------	---------------------	---------------------------------------

Case Officer:	Ed Fosker	Recommendation:	Grant permission
----------------------	-----------	------------------------	------------------

Parish:	Bury St Edmunds Town	Ward:	Risbygate
----------------	-------------------------	--------------	-----------

Proposal: Amended Planning Applications - change of use from D1 (non residential institution) to B2 (general industry)
Amendments to the applications include;
(i) Alterations and extensions to mezzanine floors within units
(ii) Minor alterations to external appearance (installation of windows) in northern western and southern elevations

- (iii) Revisions to car parking
- (iv) Details of delivery and servicing

Site: Units B, C, D & E Anglian Lane, Bury St Edmunds, IP32 6SR

Applicant: Zurich Assurance Ltd

Synopsis:

Application under the Town and Country Planning Act 1990 and the (Listed Building and Conservation Areas) Act 1990 and Associated matters.

Recommendation:

It is recommended that the Committee determine the attached applications and associated matters.

CONTACT CASE OFFICER:

Email: edward.fosker@westsuffolk.gov.uk

Telephone: 01638 719431

Background:

These applications are referred to the Committee because Councillor Julia Wakelam, one of the Ward Members, has raised objection to the proposed hours of operation and it is therefore considered that members should determine the application. Three of these applications are 'major' planning applications and so have therefore been presented directly to the Development Control Committee rather than being presented before the Delegation Panel.

It is proposed that Members will inspect the site on Thursday 30 June 2016.

Proposal:

1. Planning permission is sought for the change of use from D1 (non residential institution) to B2 (general industry) with alterations and extensions to mezzanine floors within units, minor alterations to external appearance (installation of windows) in northern western and southern elevations and associated parking.
2. The proposals were submitted as four separate applications for units B, C, D & E. It was revealed by the agent during the course of the applications that one company would be moving into all four units but that they wished to have all four applications linked by condition rather than withdraw and submit one application for the wider site.

Application Supporting Material:

3. Information submitted with the application as follows:
 - Interim Travel Plan
 - Noise Impact Assessment
 - Design and Access Statement
 - Planning Statement
 - Odour assessment
 - Night time noise assessment

Site Details:

4. The site which is the subject of these four applications is situated on the southern side of Anglian Lane and currently comprises one large industrial unit, which is subdivided into units B (1252m in floor area), C (1073m in floor area), D (1059m in floor area) and E (846m in floor area). The site is bounded to the north by Anglian Lane, to the south and east by the A14 Trunk Road and to the west by existing units on the Anglian Lane industrial estate.

5. The existing vehicular access to the site is to be retained without alteration and this utilises a one way system of separate access and egress onto Anglian Lane. The parking area at the eastern end of the site that is available for use of each/any of the occupiers contains 83 spaces.

Planning History:

6. SE/07/0547: Planning Application - Change of use from Class B8 (Storage & Distribution) to D1 (Non-residential education and training centre). Approved: 07.06.2007.
7. E/98/1193/P: Planning Application - Provision of cladding to exterior of buildings. Approved: 24.03.1998.
8. E/83/3378/P: Change of use from light industrial to warehouse. Approved: 08.12.1983.
9. E/80/2339/P: Change of use from warehouse to light industrial use. Approved: 21.07.1980.
10. E/74/2221/P: Light industrial use for, manufacturing and packing of record turntables. Approved: 03.10.1974.

Consultations:

11. Highway Authority: *The Highway Authority is concerned that the proposed parking provision of approximately 118 spaces will not be sufficient to accommodate the parking demand (as evidenced by the Vitec staff travel survey of Feb/March 2016 which stated that an average of 132 vehicles are parked on the existing site). Therefore, mitigation is required to reduce the current high dependency of car travel to work by Vitec staff. Given the sustainable location of the site, it is felt that this could be achieved with an effective Travel Plan. In order to accept the proposed level of parking we would require a Travel Plan to be secured.*
12. County Travel Plan Officer: *The Interim Workplace Travel Plan (dated June 2016) that has been submitted to support the applications (DC/15/1464, DC/15/1465, DC/15/1466 & DC/15/1467) for the change of use of the industrial units on Anglian Lane in Bury St Edmunds has identified some reasonable measures and included a target to achieve a 15% modal shift from single-occupancy vehicle travel in favour of sustainable transport. However there does need to be some further work to be done with the travel plan to ensure it will mitigate the highway impact this development is likely to generate.*

Further work will need to be done in regards to the baseline data, as the employees at the existing Vitec Videocom site could be surveyed to understand their existing and future travel habits. This should also include providing some information on the rough area of their home location to understand what options are available at this moment in time, as the new site is only going to be located a short distance away from the

existing site. The baseline data included in the Interim Travel Plan for the car park counts show up to 91% of staff and visitors travel to the existing site by car, so some more bespoke objectives, targets and measures should be included in the Interim Travel Plan.

There will need to be some further clarification in regards to providing more secure cycle parking, such as providing lockable cycle facilities that are only accessible to staff, as the employees will need confidence that their bikes are in a secure place that is not accessible to the public. Further softer measures should include some salary sacrifice schemes to help staff purchase a bike, or public transport season ticket, as well as negotiating discounts for staff at local cycle shops and public transport operators. The use of a Guaranteed Ride Home scheme should also be considered to give staff peace of mind if they need to get home in an emergency if they travel to the site by sustainable means. The Travel Plan must also identify some remedial measures in the event the 15% modal shift target is not achieved, or if there are any highway issues due to the reduced on-site parking provision.

The management of the Travel Plan would need further tweaking, as the Travel Plan Coordinator will need to be a senior member of staff to ensure they can have sufficient influence over the implementation of the Travel Plan. Also further work will also need to be carried out in regards to marketing the Travel Plan, as the use of notice boards on their own is unlikely to fully engage staff. The use of regular emails, or updates on a staff intranet that includes Travel Plan marketing information should be considered.

Due to the development taking place over four separate applications I would require the Travel Plan to be revised and secured by obligations through a Section 106 agreement to cover all four applications, with contributions to cover the cost of the ongoing work that Suffolk County Council will have in engaging with the Travel Plan.

The following Section 106 obligations are to secure the travel plan and its measures:

- A revised Interim Workplace Travel Plan to be submitted and approved by Suffolk County Council prior to the commencement of the development
- The full Implementation of the approved Interim Workplace Travel Plan
- Provision of an approved welcome pack to each employee on occupation
- Submission and approval of a Full Workplace Travel Plan to be implemented for a minimum of five years
- Implementing remedial measures if the 15% modal shift target from single-occupancy vehicle travel is not achieved

I would also require the following Section 106 contribution:

- Travel Plan Evaluation and Support Contribution - £5,000. This is to

cover Suffolk County Council officer time working with the Travel Plan Coordinator and agreeing new targets and objectives throughout the full duration of the travel plan. Information on how the obligation meets the three tests is provided below:

- The development will have a Travel Plan as required by NPPF para 36, Core Strategy policies CS7 and CS8 and DM4, DM33, DM45 and DM46 of the Local Plan. SCC provides support and monitoring of Travel Plans in the county to ensure that they are operating effectively and delivering on the aim of reducing car trips and making journeys in more sustainable ways. In order to provide this support SCC requires the necessary resources. Without independent monitoring the Travel Plans will not be subject to independent review and may not be effectively implemented. The monitoring is therefore a key component in making the Travel Plan and hence the development acceptable.
- The development Travel Plan generates the requirements for monitoring; it is therefore directly related to the development.
- The Travel Plan is to run over five years, consequently the £1,000 per year monitoring fee is considered fair and reasonable and has been calculated by SCC based on the information below:
 - SCC Officer time reviewing the monitoring reports
 - SCC Officer time to attend meetings (on and off site)
 - SCC Officer time to send resources (timetables, maps, promotional event information, etc.)
 - Travel Survey Support, as SCC can host the survey using the corporate survey account (subscription is likely to cost the developer £300 per annum on its own).

13. Rights of Way Officer (County): No objection

14. West Suffolk Environment Team: No objection subject to the addition of standard land contamination conditions.

15. Economic Development & Growth: Support the proposals.

16. Flood and water engineer: No objection as the footprint of the building is not changing.

17. Public Health & Housing: No objection, subject to conditions.

Representations:

18. Bury St Edmunds Town Council: No objection based on information received

19. One of the Ward Members (Cllr Julia Wakelam): The proposed hours of working will not be acceptable to the residents. The acoustic reports do not take into account, in any meaningful way, the close proximity of homes to this site. Would request that the LPA seek to reduce the hours suggested by the applicant.

20. Letters: A number of representation have been received as summarised below:

- 39 Raynham Road, Bury St Edmunds – concerns with regard to late night and early morning deliveries, late hours of working, Sunday working, causing noise that impacts on the sleep local residents.
- 21 Raynham Road, Bury St Edmunds – concerns with regard to the type of use for these units, as in the past some units seem to have been used 24hr a day, shouting, loud music, lorries and fork lift trucks using the site in the early hours is totally unacceptable.
- 54 Raynham Road, Bury St Edmunds – concerns with regard to the proposed nature of the uses intended for the units, noise and hours of working, highway safety with increased vehicular movements.
- 46 Raynham Road, Bury St Edmunds – concerns with regard to type of business and trading hours, also Anglian Lane is a busy road, trucks, lorries and cars already have problems added to the students parking, these applications will add to congestion.
- 27 Raynham Road, Bury St Edmunds – concerns with regard to the type of business, hours of working, Anglian Lane is already heavily congested during peak hours being within close proximity of 2 schools and the college campus vehicular movements and parking for a new business will need to be mitigated.
- 29 Raynham Road, Bury St Edmunds – concerns with regard to the type of use for these units, as in the past some units seem to have been used 24hr a day, shouting, loud music, lorries and fork lift trucks using the site in the early hours is totally unacceptable.

Policy: The following policies of the Joint Development Management Policies Document and the St Edmundsbury Core Strategy December 2010 have been taken into account in the consideration of this application:

21. Joint Development Management Policies Document:

- DM1 Presumption in favour of sustainable development
- DM2 Creating Places – Development Principles and Local Distinctiveness
- DM13 Landscape Features
- DM30 Appropriate Employment Uses and Protection of Employment Land and Existing Business
- DM45 Transport Assessments and Travel Plans

22. St Edmundsbury Core Strategy December 2010

- CS1 St Edmundsbury Spatial Strategy
- CS2 Sustainable Development
- CS3 Design and Local Distinctiveness
- CS9 Employment and the Local Economy
- CS10 Retail, Leisure, Cultural and Office Provision

23. Bury St Edmunds Vision 2031
- BV14 General Employment Areas

Other Planning Policy:

24. National Planning Policy Framework (2012) core principles and paragraphs 18, 19, 20, 21, 36 & 123.

Officer Comment:

25. The issues to be considered in the determination of the application are:
- Planning Policy Considerations
 - Highway Implications – Interim Travel Plan
 - Impact on Residential Amenity
 - Employment

Planning Policy Considerations

26. The proposal is for change of use from change of use from D1 (non residential institution) to B2 (general industry) with alterations and extensions to mezzanine floors within units, minor alterations to external appearance (installation of windows) in northern western and southern elevations and associated parking. The four applications are to be linked together by condition and will be personal to the Vitec Group which is seeking to move from their current offices in Western Way. The Vitec Group is a major employer in Bury St Edmunds and is engaged in the design, manufacture, and sale of television camera mounting equipment.

27. Policy DM1 of the Joint Development Management Policies Document states that when considering development proposals the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. It will always work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area. Planning applications that accord with the policies in this Local Plan (and, where relevant, with policies in Neighbourhood Plans) will be approved without delay, unless material considerations indicate otherwise – taking into account whether:

- Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the National Planning Policy Framework taken as a whole; or
- Specific policies in that Framework indicate that development should be restricted.

28. Policy DM2 of the Joint Development Management Policies Document states that proposals for all development (including changes of use, shopfronts, and the display of advertisements) should, as appropriate: Recognise and address the key features, characteristics, landscape/townscape character, local distinctiveness and special qualities of the area and/or building and, where necessary, prepare a

landscape/townscape character appraisal to demonstrate this;

- maintain or create a sense of place and/or local character, particularly restoring or enhancing localities where strong local characteristics are lacking or have been eroded;
- Incorporate sustainable design and construction measures and energy efficiency measures as required by Policy DM7 of this Plan;
- taking mitigation measures into account, not affect adversely:

The amenities of adjacent areas by reason of noise, smell, vibration, overlooking, overshadowing, loss of light, other pollution (including light pollution), or volume or type of vehicular activity generated; and/or residential amenity.

29. Policy CS9 of the adopted Core Strategy states that provision will be made to aim to deliver at least 13,000 additional jobs in the borough by 2026, with growth focussed on Bury St Edmunds. There is a need to support existing employment areas, in order to ensure there is a balance between homes and jobs which will contribute to making the town more sustainable.

30. The site lies within the Anglian Lane employment area where policy BV14 of the adopted Bury St Edmunds Vision 2031 allocates the site as a general employment area. This policy states uses B1 and B8 are appropriate in these designations provided parking, access, travel and general environmental considerations can be met. The proposed change of use from D1 to B2 does not comply with policy BV14 and this is a factor which must be taken as weighing against the scheme. However, the proposal draws clear support from the provisions of DM1 and DM2, and any conflict with BV14 is an in principle issue and ample support is offered to the scheme by the provisions of DM1, DM2 and the NPPF which seeks to support economic development proposals.

31. The proposed use is industrial in nature, and would otherwise seem appropriate in the location proposed, subject to careful consideration of the detail and impacts arising, not least in relation to highways and amenity impacts. These matters will be considered in more detail in the sections below.

Economic Development

32. The Economic Development & Growth Team support the applications by Vitec to move their business to Anglian Lane, Bury St Edmunds. Since the company's move to Bury St Edmunds in the 1960's (formerly Vinten Broadcast Limited) Vitec have been an important local employer and today employ in excess of 200 staff at the Bury St Edmunds operation (216 staff in 2014).

33. Vitec Group is engaged in the design, manufacture, and sale of television camera mounting equipment and has a direct presence in 10 countries around the world (UK, USA, Costa Rica, France, Germany, Italy, Netherlands, Japan, China and Singapore). Vitec produces 20 brands and sells its products and services to over 100 countries, serving customers in the media sector with products and services for the broadcast,

entertainment, and photographic industries.

34. The company has a global turnover in excess of £300m, employing 1,800 staff. The Bury St Edmunds operation is significant, accounting for 10% of this workforce.
35. The proposed move by Vitec to the vacant units in Anglian Lane allows Vitec to keep their operation within the town, thereby continuing to offer employment to their local employees.
36. Whilst the proposals do not sit entirely straightforwardly within the context of policy BV14 great weight in favour of the scheme should nonetheless be attached to the economic benefits of these applications as laid out above and this conclusion strongly supports the in principle acceptance concluded in the preceding section.

Highway Implications

37. The existing vehicular access to the site is to be retained without alteration and this utilises a one way system of separate access and egress onto Anglian Lane.
38. The proposed development relates to the refurbishment, alteration and change of use of four existing units at the Anglian Lane Industrial Estate. The development proposes to change the existing permitted land use from D1/B8 to Class B2 with a modest increase in floor area of around 638m² which arises from the proposed mezzanines.
39. The Highway Authority has expressed concern that the proposed parking provision of approximately 118 spaces will not be sufficient to accommodate the parking demand (as evidenced by the Vitec staff travel survey of Feb/March 2016 which stated that an average of 132 vehicles are parked on the existing site). Therefore, mitigation is required to reduce the current high dependency of car travel to work by Vitec staff. Given the sustainable location of the site, it is felt that this could be achieved with an effective Travel Plan. In order to accept the proposed level of parking a Travel Plan would be required.
40. The requirement for a Travel Plan is supported by National Planning Policy Framework paragraph 32, which sets out that plans and decisions should take account of whether:
 - the opportunities for sustainable transport modes have been taken up depending on the nature and location of the site, to reduce the need for major transport infrastructure;
 - safe and suitable access to the site can be achieved for all people.
 - improvements can be undertaken within the transport network that cost effectively limit the significant impacts of the development.
41. An interim Travel Plan has now been submitted by the agent following consultation from Suffolk County Council Highway Authority. Whilst four separate planning applications have been submitted, this Travel Plan relates to the whole site comprising units B, C, D and E, where the

combined units will be occupied by Vitec Videocom Limited. Vitec Videocom Ltd are currently located on Western Way, Bury St Edmunds IP33 3TB, and employ 172 persons.

42. Suffolk County Council Highways Authority have requested the submission of an interim travel plan prior to determination (which has now been received), submission and implementation of a full travel plan (six months after first occupation), to cover all four applications and to mitigate the highway impact through a S106 agreement:

- Travel Plan Evaluation and Support Contribution - £5,000. This is to cover Suffolk County Council officer time working with the Travel Plan Coordinator and agreeing new targets and objectives throughout the full duration of the travel plan. Information on how the obligation meets the three tests is provided below:
- The development will have a Travel Plan as required by NPPF para 36, Core Strategy policies CS7 and CS8 and DM4, DM33, DM45 and DM46 of the Local Plan. SCC provides support and monitoring of Travel Plans in the county to ensure that they are operating effectively and delivering on the aim of reducing car trips and making journeys in more sustainable ways. In order to provide this support SCC requires the necessary resources. Without independent monitoring the Travel Plans will not be subject to independent review and may not be effectively implemented. The monitoring is therefore a key component in making the Travel Plan and hence the development acceptable.
- The development Travel Plan generates the requirements for monitoring; it is therefore directly related to the development.
- The Travel Plan is to run over five years, consequently the £1,000 per year monitoring fee is considered fair and reasonable and has been calculated by SCC based on the information below:
- SCC Officer time reviewing the monitoring reports.
- SCC Officer time to attend meetings (on and off site).
- SCC Officer time to send resources (timetables, maps, promotional event information, etc.).
- Travel Survey Support, as SCC can host the survey using the corporate survey account (subscription is likely to cost the developer £300 per annum on its own).

43. Therefore officers are satisfied that this issue has been adequately considered and sufficient information has been submitted to demonstrate that the development proposed would not lead to significant detriment to the highway network surrounding the site. Also it is considered reasonable to request the travel plan via condition and the travel plan evaluation and support contribution by a section 106 agreement.

Impact on Residential Amenity

44. The concerns which have been raised by local residents of Raynham Road with regard to noise, hours of operation and deliveries are noted and this is a matter that requires careful assessment.
45. The Local Authority's Environmental Health Officer raises no objection to the proposal and concludes from the Acoustic Report provided by Sharps Redmore that the proposal can operate without any adverse or significant impact from noise at the nearest residential properties, mainly due to the high background level which is due to the proximity of the A14. The Survey states that the external extract system shall be sited to the rear of the proposal nearest the A14 boundary in order that the structure of the industrial unit provides some attenuation.
46. The survey was carried out between 07:00- 22:00hrs therefore it is recommended that the hours of operation at the site are limited to these times, when noise arising from the A14 will be louder than any anticipated noise generated by this site. In such a scenario, there will be no adverse impacts upon the amenities of nearby residents. This will be subject to a condition limiting works at the site to between the times specified above.
47. Taking into account the fact that units D and E are positioned some 12m, and units B and C some 18.9m from the northern side of the site with a strong mature tree belt at the boundary which adjoins the rear gardens of the properties in Raynham Road it is considered that restricting the hours of operation and conditioning the permissions to be personal to Vitec would adequately protect the residential amenity of the neighbouring properties. It is important to condition the approval specific to the applicants since the noise report has been undertaken specific to the operations undertaken by the applicant, and any alternative B2 operation might introduce different impacts that might otherwise require control.

Impact on trees and landscaping

48. The site is within an existing industrial estate which has existing landscaping by way of a strong mature tree line along the boundary of Anglian Lane and a large grass verge. No additional landscaping is proposed as part of these applications.

Conclusion:

49. The applications relate to the change of use from Use Class D1 Non-Residential Institution (Units B – D) and Class B8 (Unit E) to a blanket Use Class B2 General (Industrial); it is intended that any permission granted will be personal to the applicant therefore noting the highways and amenity issues raised above which are specific to this operator.
50. In conclusion however, but with the implementation of conditions linking the four applications together, making the use personal to Vitec to protect the units being utilised separately, with the hours of operation restricted and with the implementation of an interim travel plan, it is

considered that the proposed B2 use would be suitably controlled so as not to adversely impact on the amenity of neighbouring residents or raise concerns with regard to parking and vehicular movements associated with these proposals. In such a scenario Officers consider that significant weight in support can be attached to the economic benefit arising from the proposal, so as to outweigh and modest in-principle harm in relation to BV14, and such that clear support can be offered, subject of course to conditions.

Recommendation:

It is **RECOMMENDED** that planning permission be **Granted** for DC/15/1464/FUL, DC/15/1465/FUL, DC/15/1466/FUL & DC/15/1467/FUL subject to the applicant entering into a Section 106 legal agreement to secure a contribution to the implementation of the full travel plan and the following conditions:

- 1 Standard 3 years from the date of this permission.
- 2 DC/15/1464/FUL, DC/15/1465/FUL, DC/15/1466/FUL & DC/15/1467/FUL to be linked together and personal to Vitec.

Reason: To protect the amenity of nearby residents.

- 3 The hours of operation of Units B-E should be restricted to between the hours of 07:00-22:00 Mon – Friday, 08:00 – 13:00 Saturdays and no working on Sundays or Bank Holidays and no night time working or deliveries outside these times.

Reason: To protect the amenity of nearby residents.

- 4 Deliveries to and from the premises including loading and unloading operations shall take place between the hours 07:00-22:00 Mon – Friday, 08:00 – 13:00 Saturdays and no working on Sundays or Bank Holidays and no night time working or deliveries outside these times.

Reason: To protect the amenity of nearby residents.

- 5 Details of any external plant, to include any proposed noise attenuation, to be submitted to and approved by the local planning authority and installed prior to the use commencing.

Reason: To ensure that the impact of any external plant is adequately mitigated to protect the amenity of nearby residents.

- 6 Details of any ventilation systems, to include any proposed noise attenuation, to be submitted to and approved by the local planning authority and installed prior to the use commencing.

Reason: To protect the amenities of neighbouring properties.

- 7 The areas to be provided for storage of Refuse/Recycling bins as shown on drawing numbers 001, 101, 201 and 301 shall be provided in its entirety before the development is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that refuse recycling bins are not stored on the highway causing obstruction and dangers for other users.

8. Before the use is commenced details of the areas to be provided for the [LOADING, UNLOADING,] manoeuvring and parking of vehicles including secure cycle storage shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To ensure the provision and long term maintenance of adequate on-site space for the parking and manoeuvring of vehicles, where on-street parking and manoeuvring would be detrimental to highway safety.

- 9 The development shall be carried out in full accordance with the internal layout shown on the plans hereby permitted. There shall be no subdivision of any of the units or any additional internal floor space created (including any insertion of mezzanine floors) not covered by this permission.

Reason: To define the scope and extent of this permission.

- 10 The development hereby permitted shall not be carried out except in complete accordance with the details shown on the following approved plans and documents:

Reason: To define the scope and extent of this permission.

11. Details of the travel arrangements to and from the site for employees and customers, in the form of a Full Travel Plan, including monitoring provisions shall be submitted to and approved in writing by the Local Planning Authority. The approved arrangements shall be submitted and implemented six months after first occupation and thereafter adhered to.

Reason: In the interests of sustainable development.

Documents:

All background documents including application forms, drawings and other supporting documentation relating to this application can be viewed online:

<https://planning.westsuffolk.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=NRTTQ7PDJBW00>

<https://planning.westsuffolk.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=NRTTQGPDJBY00>

<https://planning.westsuffolk.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=NRTTQKPDJC000>

<https://planning.westsuffolk.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=NRTTQNPDJC200>

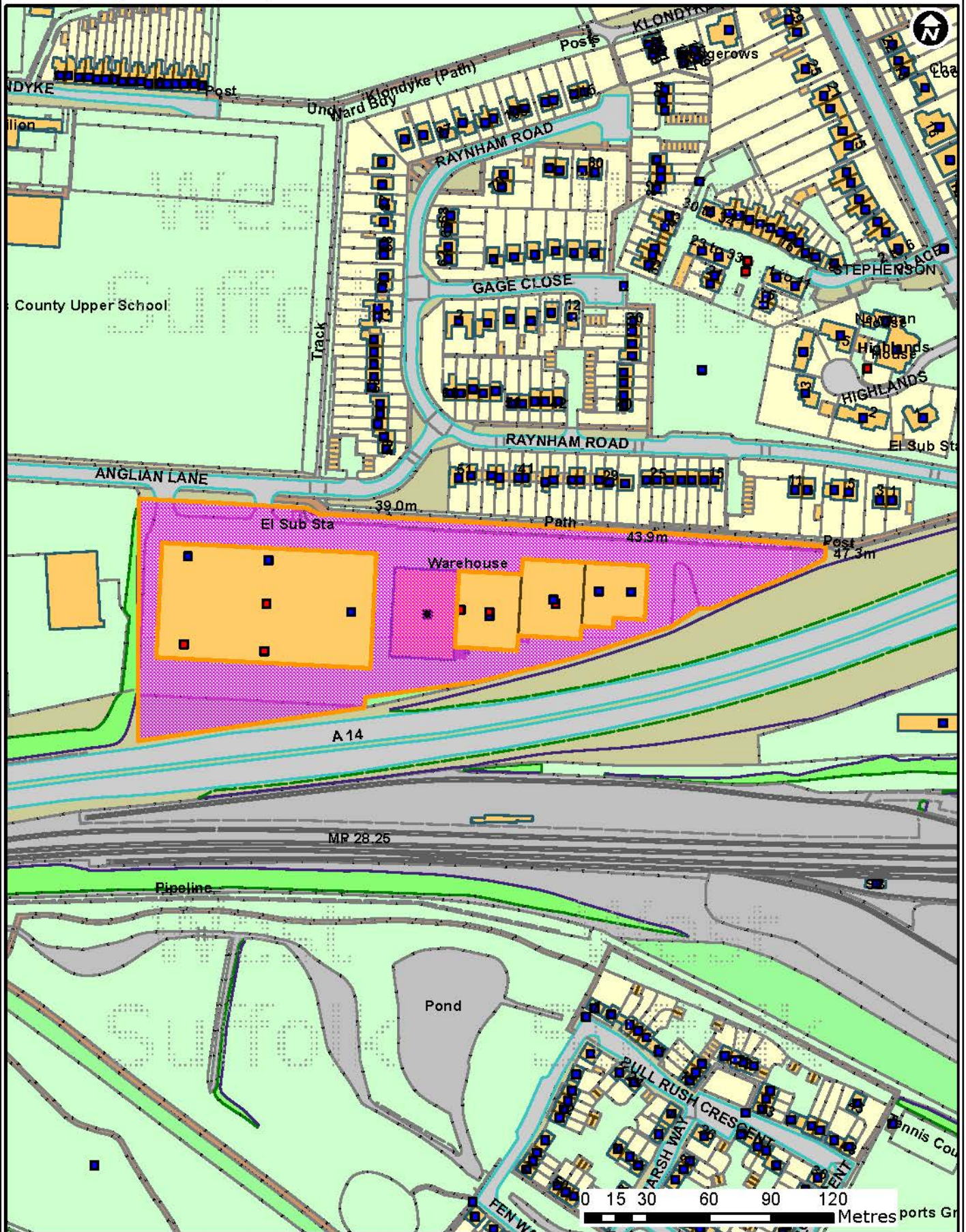
Case Officer: Ed Fosker

Tel. No. 01638 71943

This page is intentionally left blank

DC/15/1464/FUL

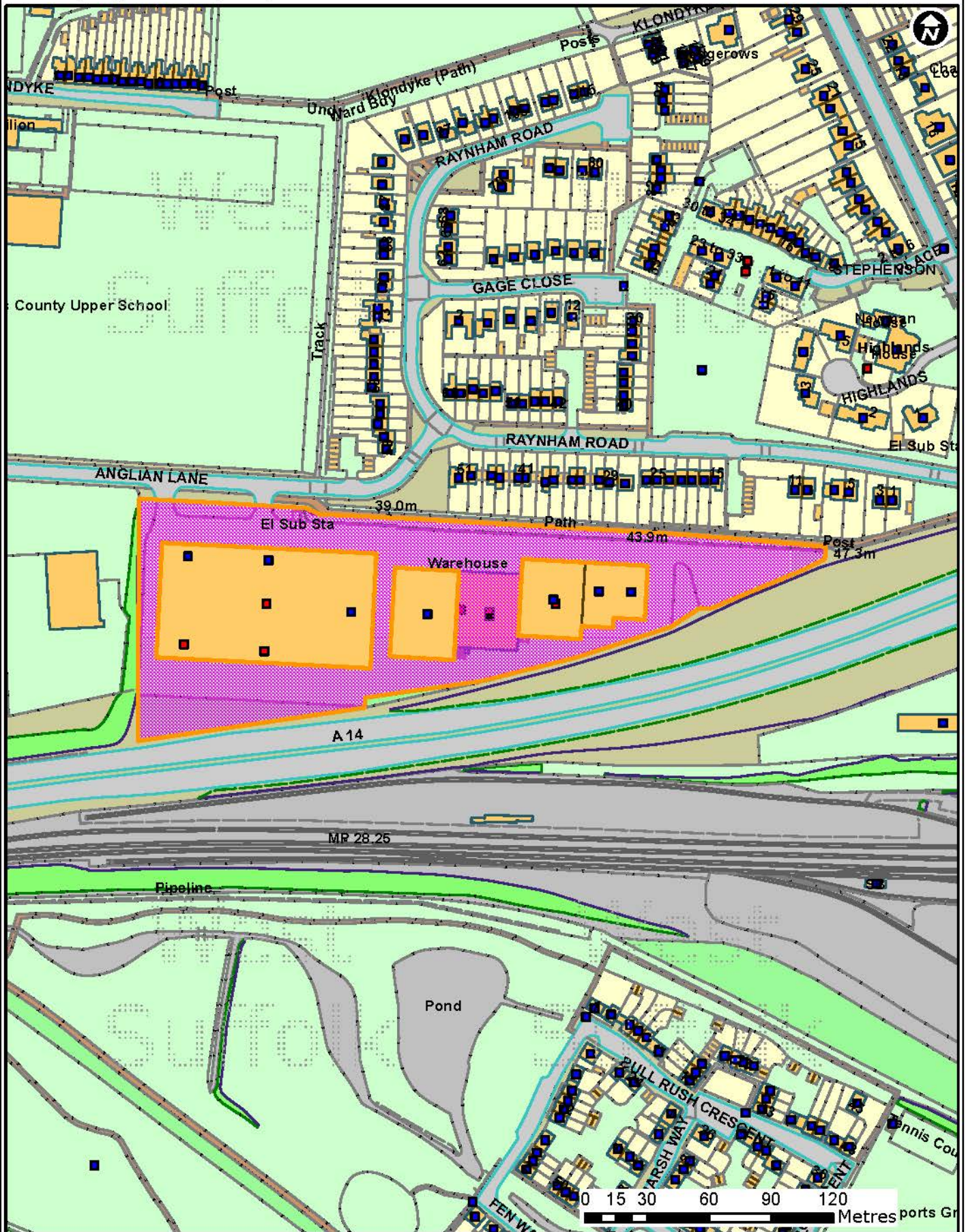
Unit B, Anglian Lane, Bury St Edmunds



This page is intentionally left blank

DC/15/1465/FUL

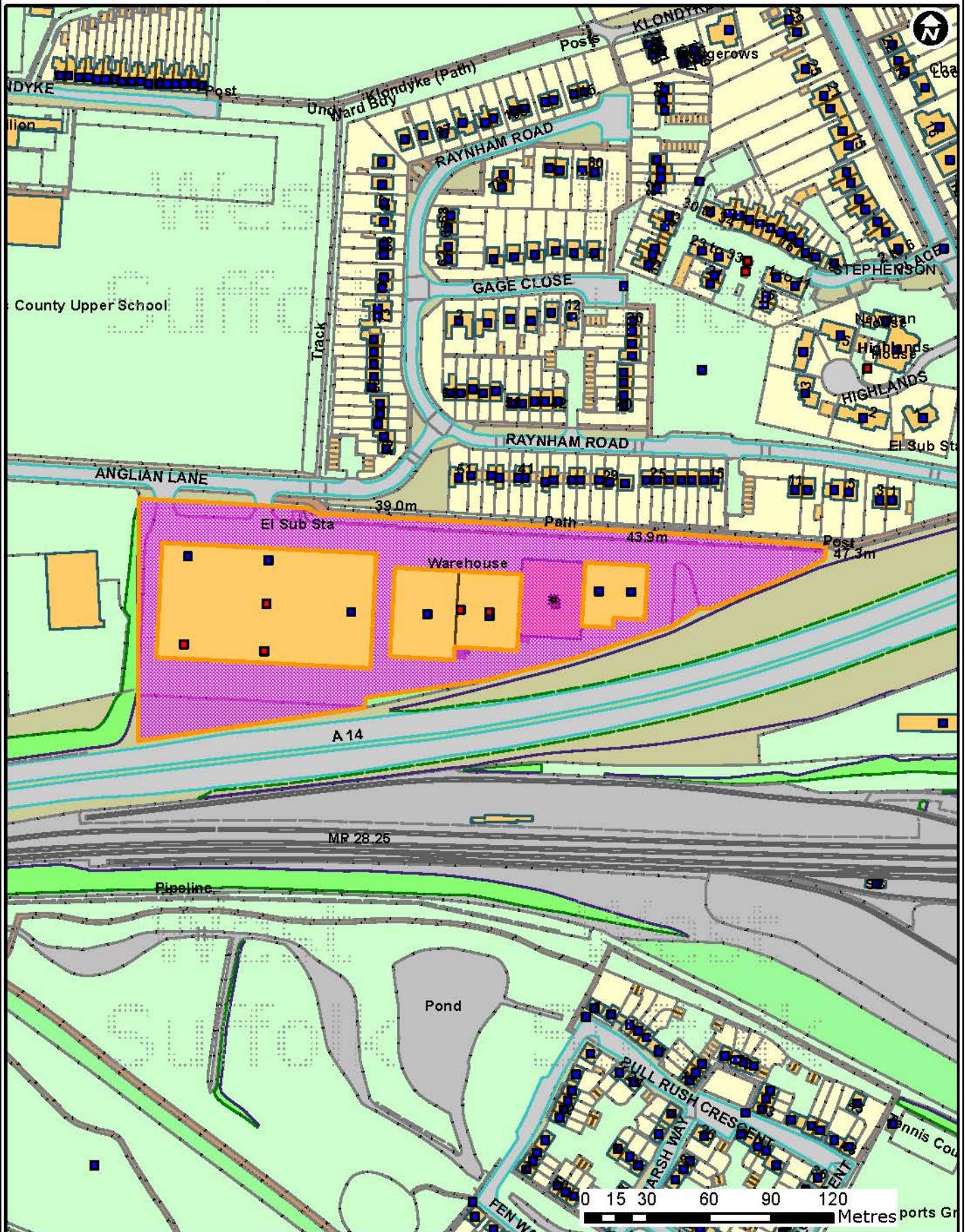
Unit C, Anglian Lane, Bury St Edmunds



This page is intentionally left blank

DC/15/1466/FUL

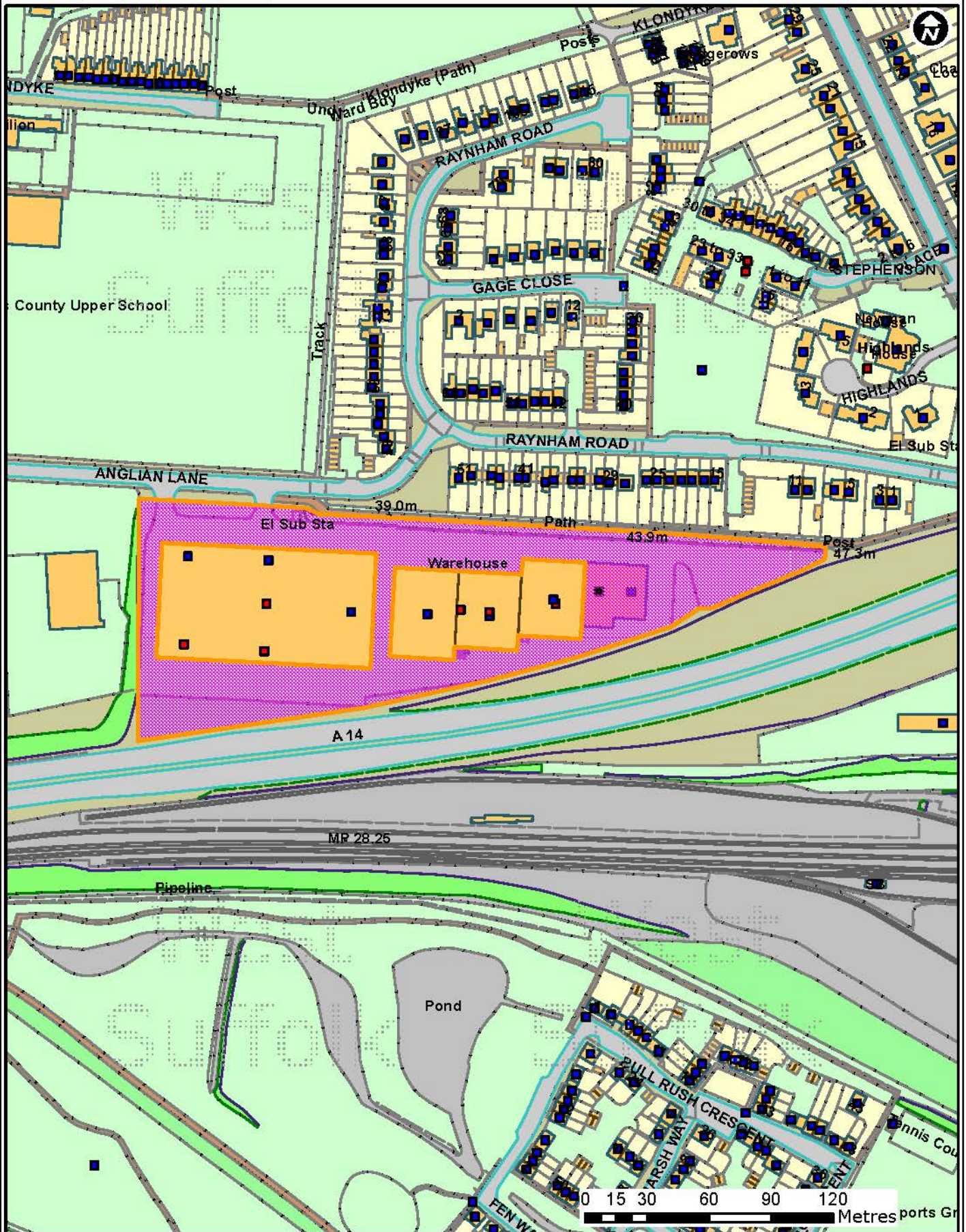
Unit D, Anglian Lane, Bury St Edmunds



This page is intentionally left blank

DC/15/1467/FUL

Unit E, Anglian Lane, Bury St Edmunds







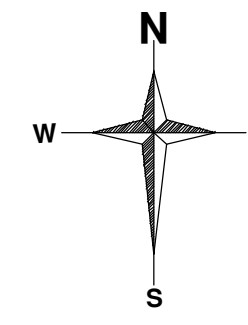
This page is intentionally left blank

Unit B, Anglian Lane - Proposed Site Plan

1:500

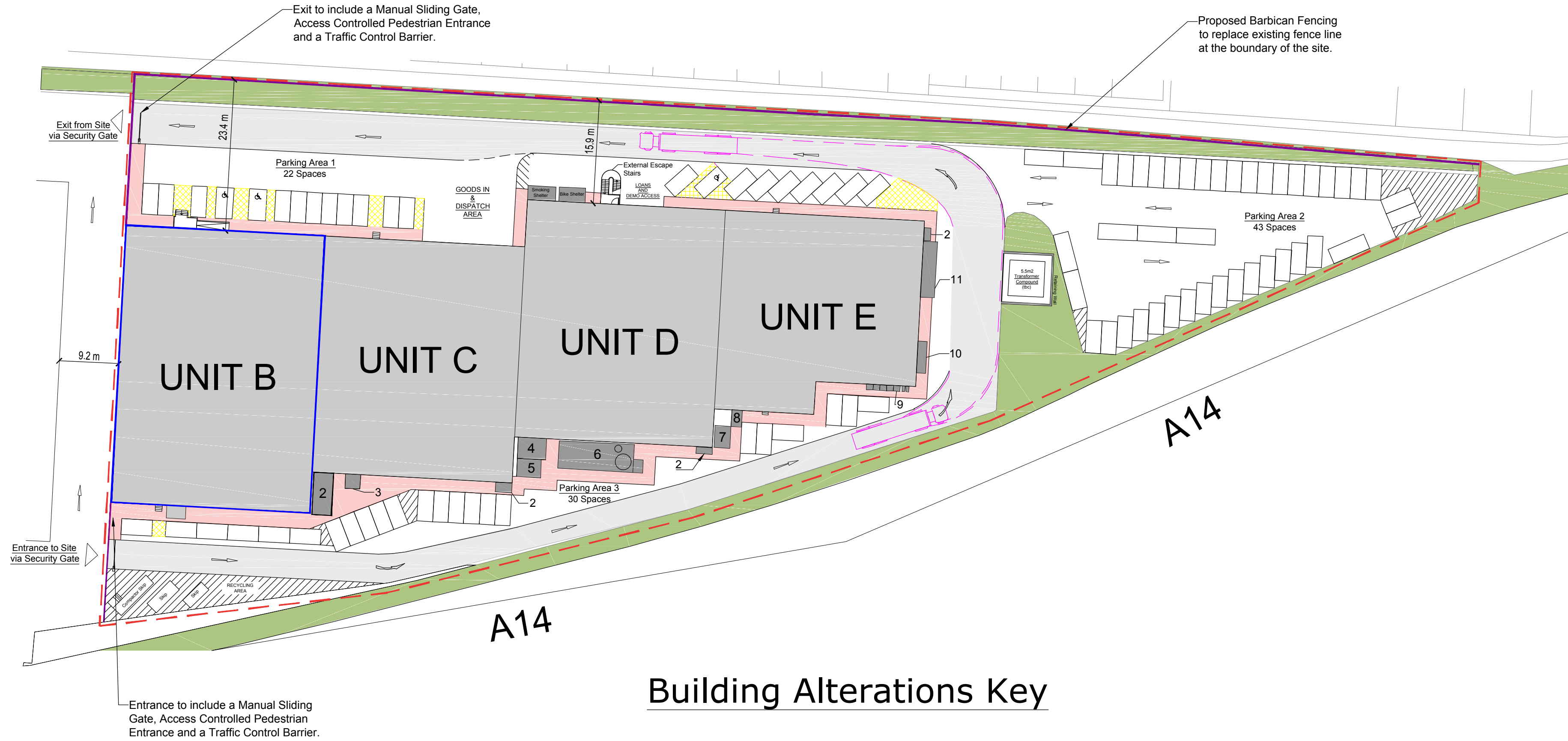
Key

-  Proposed Main Traffic Route
- Direction indicated by arrows.
-  Application Site Perimeter Line
-  Location of Application
-  Proposed New Fence with Security Gates
(Jacksons Barbican Fencing System)



Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Notes:



Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ
Tel: +44 (0) 121 200 2050
Fax: +44 (0) 121 200 3022
www.cushmanwakefield.com

Client: Vittec Videocom Ltd
Project: Unit B, Anglian Lane Industrial Estate
Bury St. Edmunds
Drawing: Proposed Site Plan

Building Alterations Key

- 2 - Condenser Units for Mechanical Air Conditioning System.
- 3 - Waste Electrical Equipment Room
- 4 - Existing store area adjusted to create a Air Compressor Room.
- 5 - Existing Storage building to be adjusted to house Chemical Store
- 6 - Effluent Treatment Building, including waste water pit.
- 7 - Proposed Fettle Extraction Unit.
- 8 - 60 KeV Generator
- 9 - Sarnif Storage Area
- 10 - New Oil / Coolant Store
- 11 - Waste Oil / Coolant Store

Unit B, Anglian Lane - Existing Ground Floor

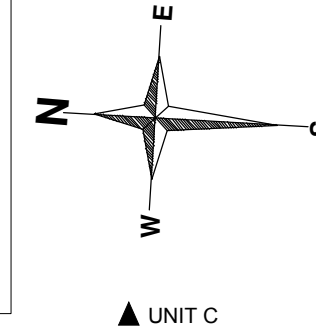
Scale 1:100

Key

— Boundary of Existing Mezzanine Floor

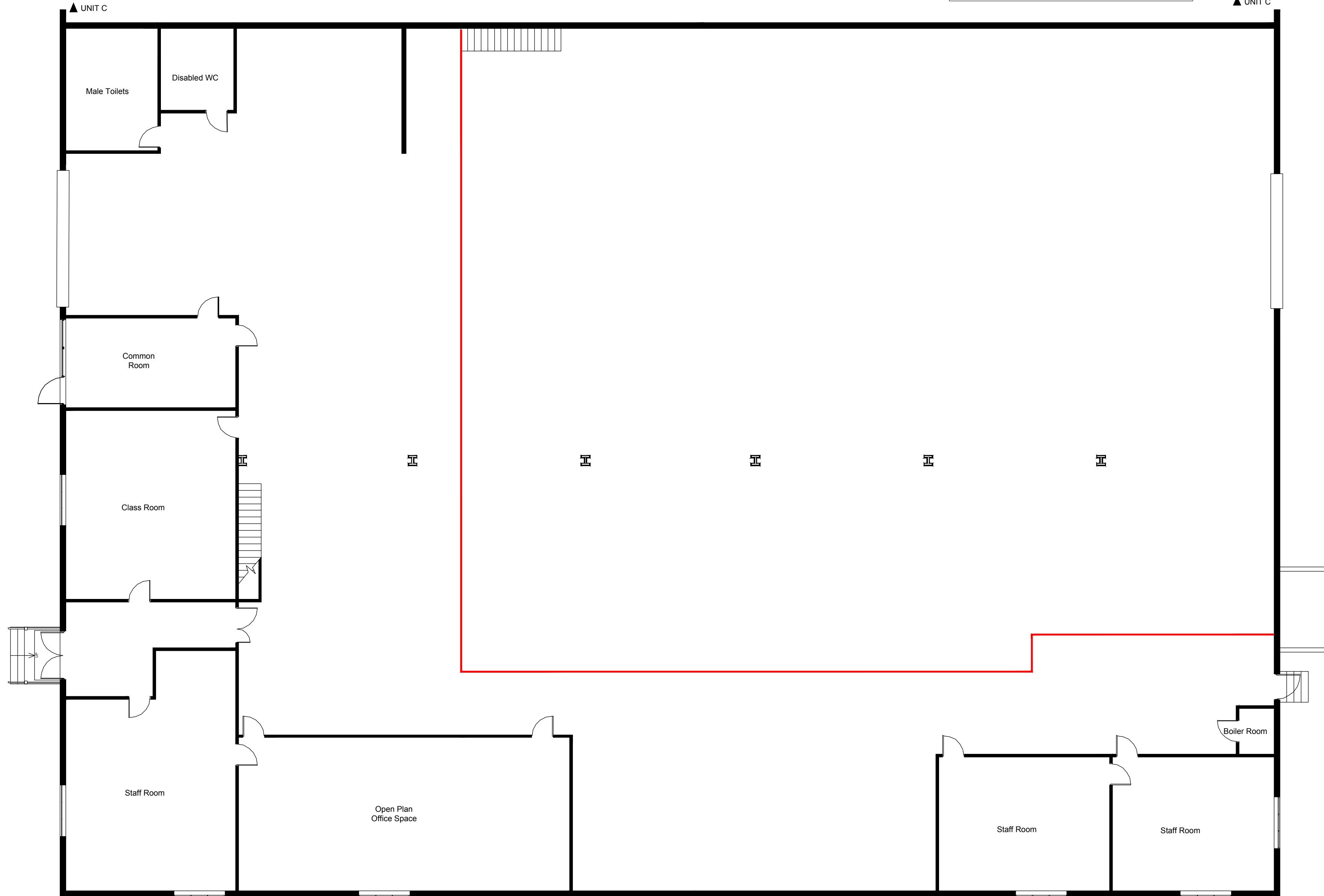
Existing Ground Floor Area = 1290 sqm (13885 sqft)

Existing Mezzanine Area = 654.9 sqm (7050 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:
 A - 006 B - 007 C - 008



Notes:

Revision	Description	Date	Drawn

PLANNING

CUSHMAN & WAKEFIELD

No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit B, Anglian Lane
 Bury St Edmunds

Drawing: Existing Ground Floor Layout

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI

Drawing Number: Revision:

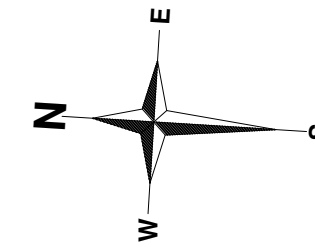
002
 S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING

Unit B, Anglian Lane - Proposed Ground Floor

Scale 1:100

Key

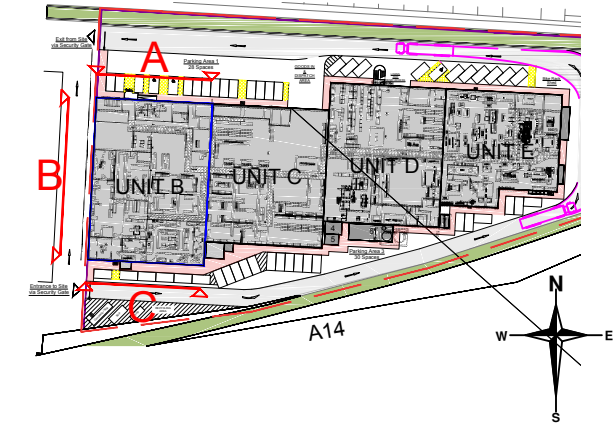
Boundary of Proposed Mezzanine Floor
 Total Proposed Ground Floor Area = 1290 sqm (13885 sqft)
 Total Proposed Mezzanine Area = 767.9 sqm (8265 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:

A - 006 B - 007 C - 008



Notes:

Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit B, Anglian Lane
 Bury St Edmunds

Drawing: Proposed Ground Floor Layout

Scale: 1:100 @ A2 Drawn by: MC

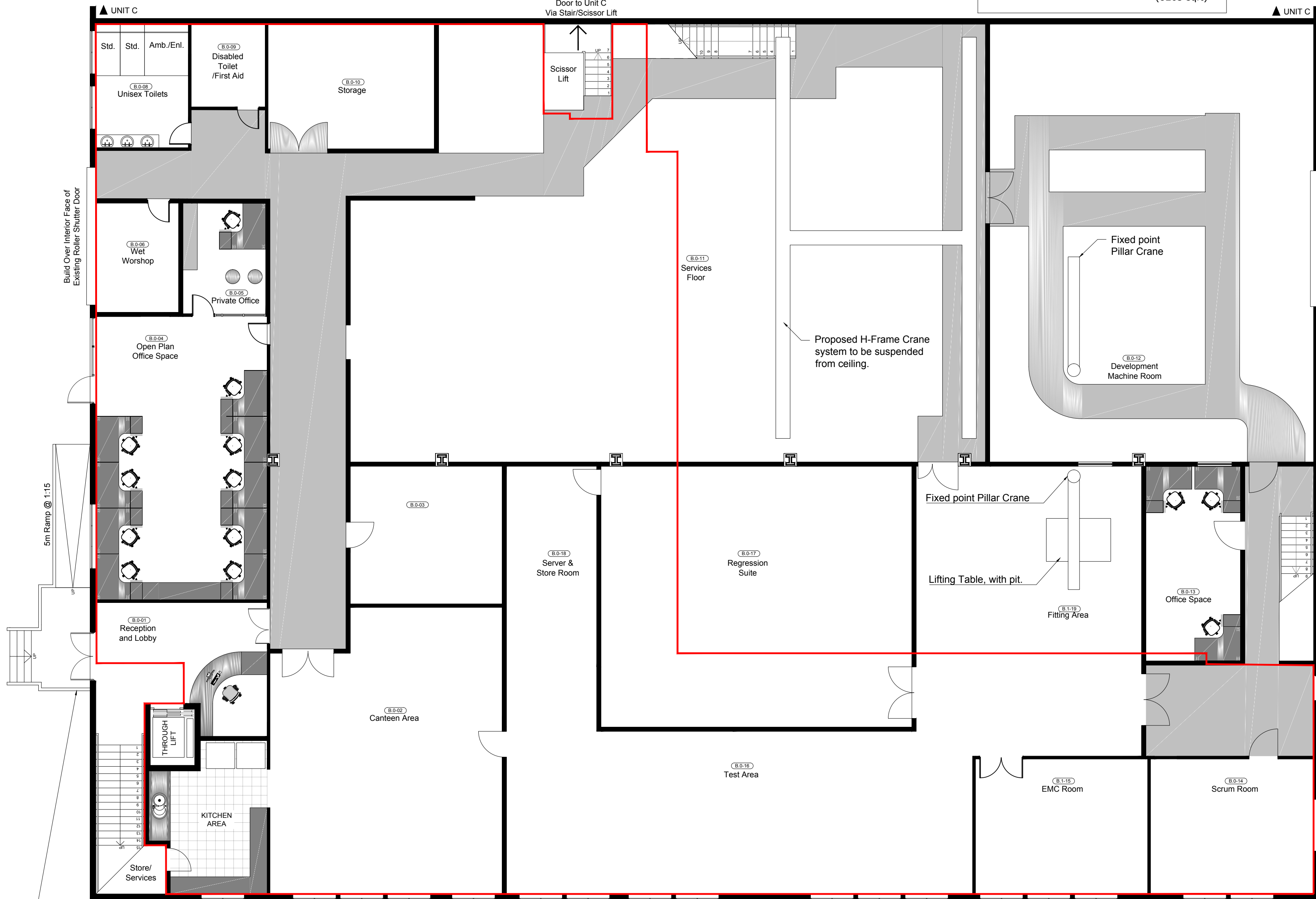
Date: March 2016 Checked by: AI

Drawing Number: Revision:



003

S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING



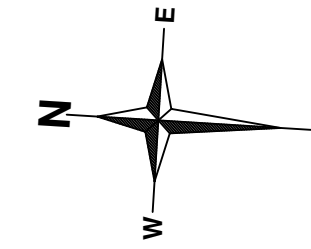
Proposed Ramp and Stair Access to Main Entrance, with Canopy.

Unit B, Anglian Lane - Existing Mezzanine Floor

Scale 1:100

Key

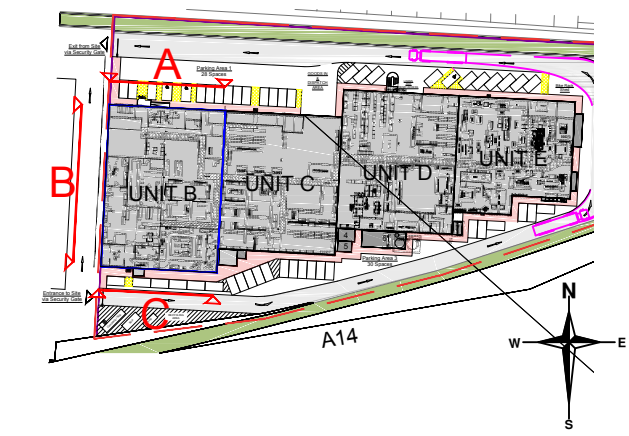
- Boundary of Existing Mezzanine Floor
- Existing Ground Floor Area = 1290 sqm (13885 sqft)
- Existing Mezzanine Area = 654.9 sqm (7050 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:

A - 006 B - 007 C - 008



Notes:

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

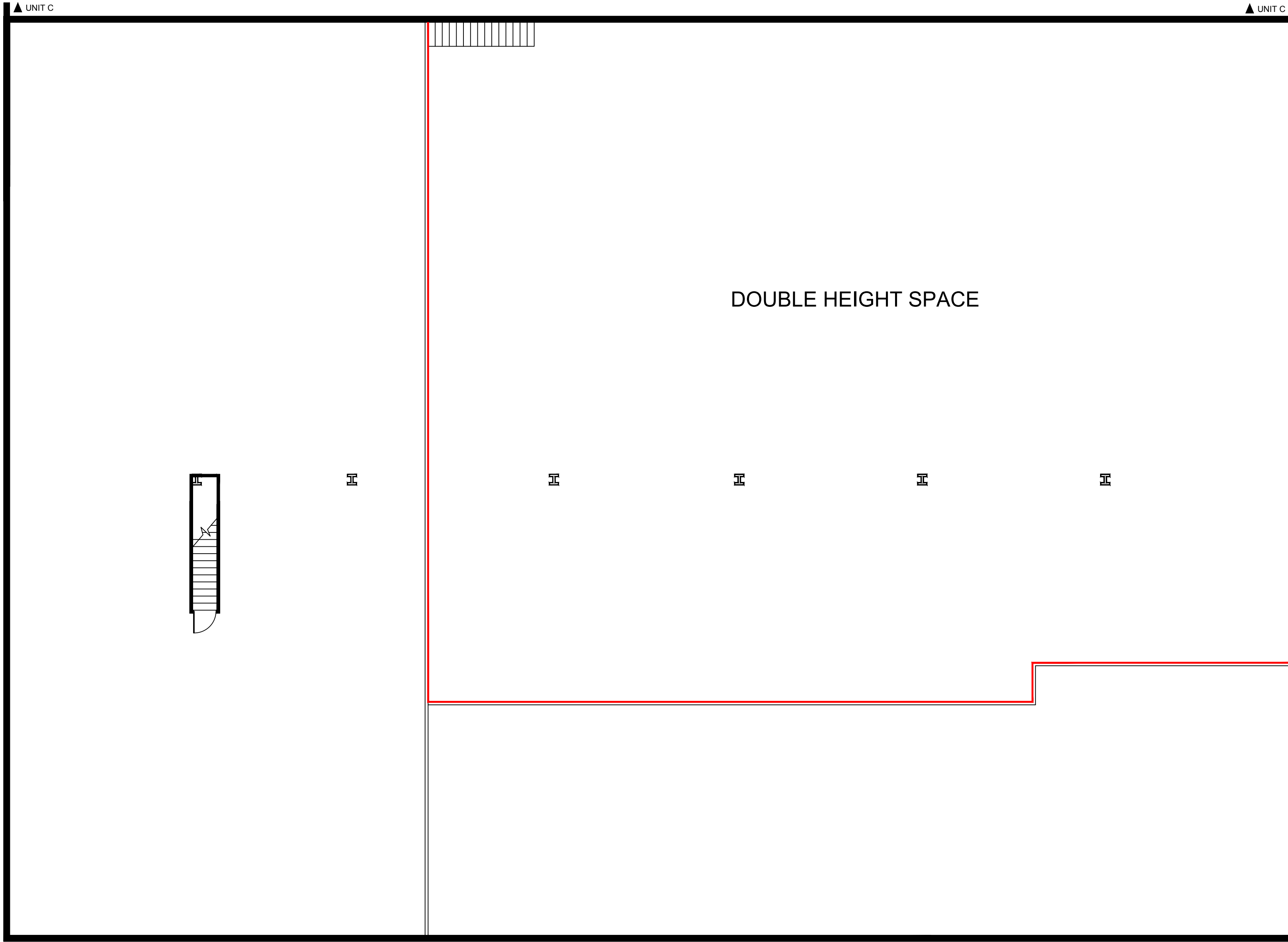
Client: Vitec Videocom Ltd

Project: Unit B, Anglian Lane
 Bury St Edmunds

Drawing: Existing Mezzanine Level Layout

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:

004
 S:\Bcons\Open.Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING

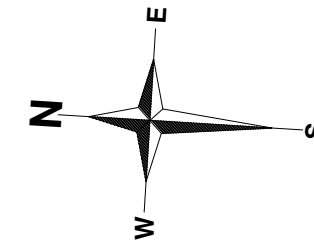


Unit B, Anglian Lane - Proposed First Floor

Scale 1:100

Key

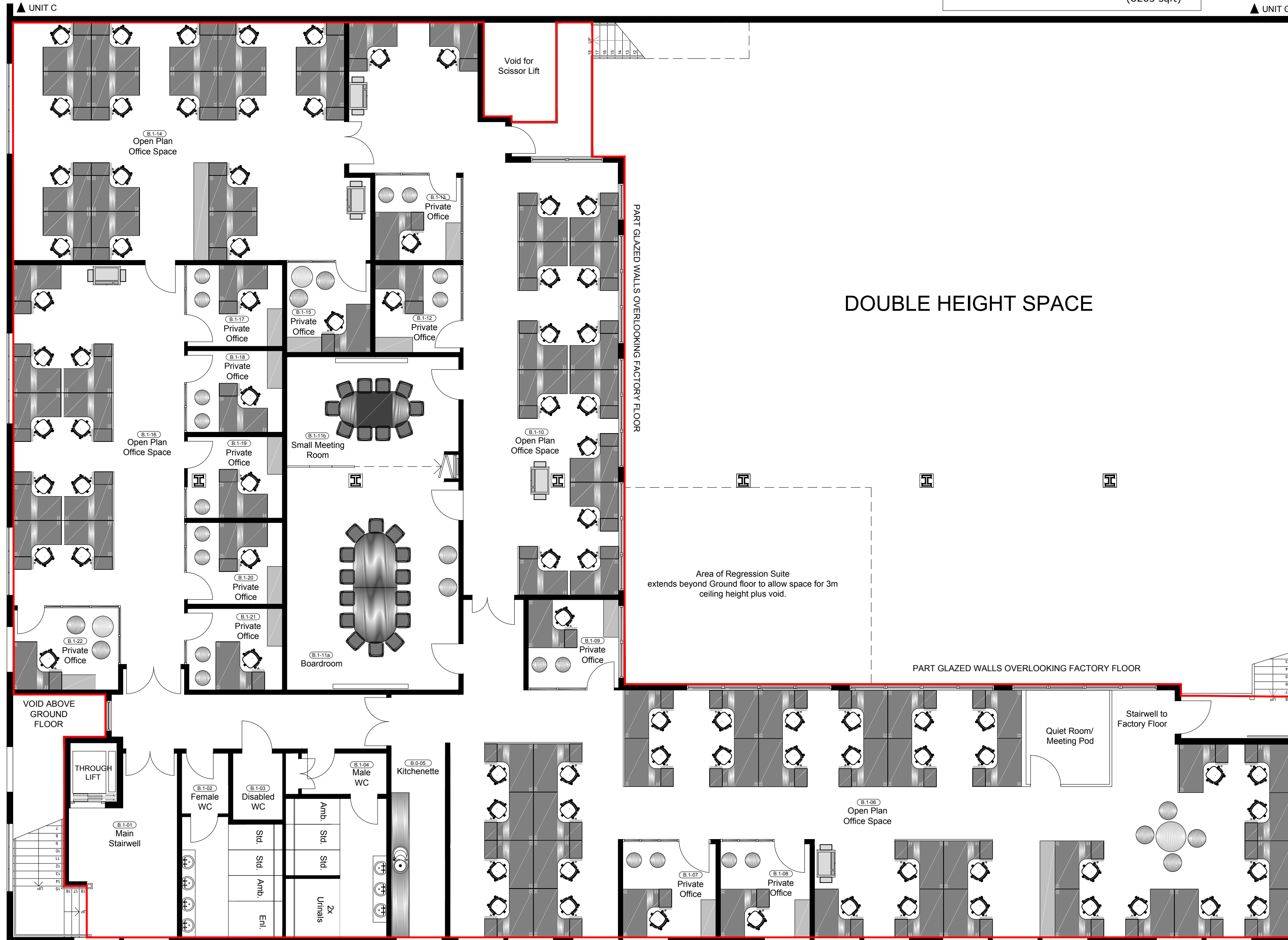
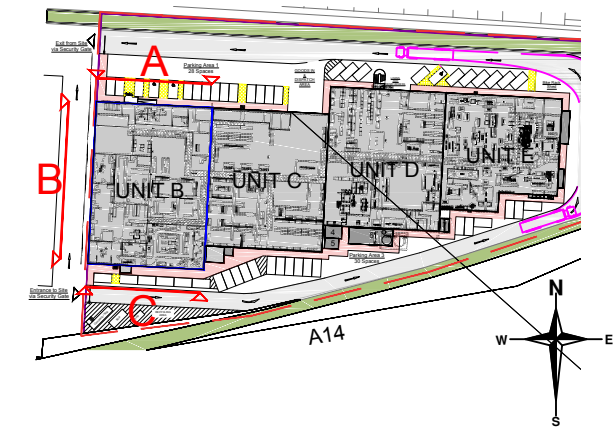
Boundary of Proposed Mezzanine Floor
 Total Proposed Ground Floor Area = 1290 sqm (13885 sqft)
 Total Proposed Mezzanine Area = 767.9 sqm (8265 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:

A - 006 B - 007 C - 008



Notes:

Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050

Fax: +44 (0) 121 200 3022

www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit B, Anglian Lane
 Bury St Edmunds

Drawing: Proposed Mezzanine Layout

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



005

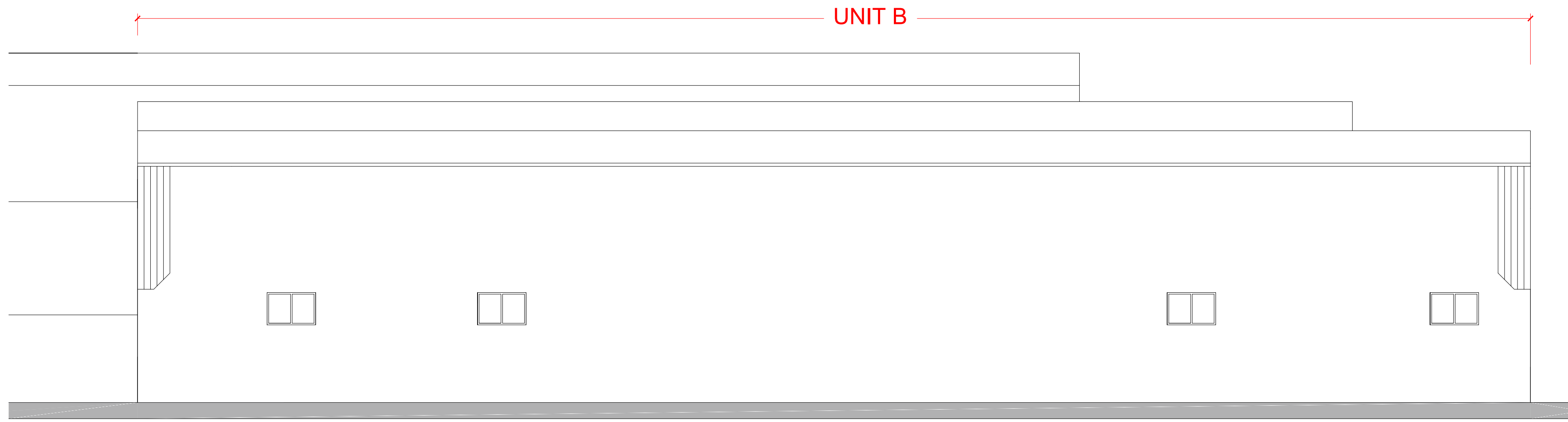
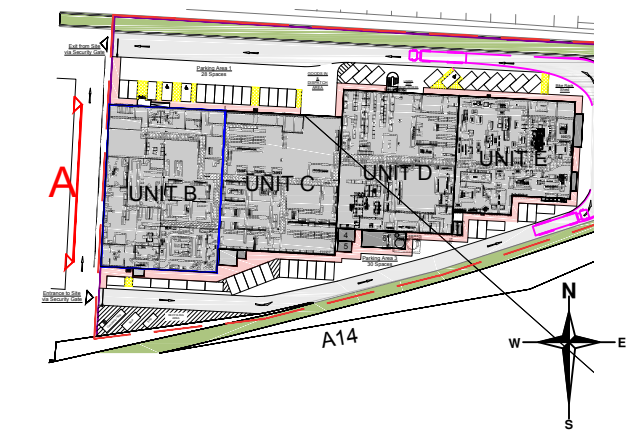
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING

Unit B, Anglian Lane - Elevation A, West Facing

Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: A - West Facing



Existing Elevation

Notes:

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd
 Project: Unit B, Anglian Lane
 Bury St. Edmunds

Drawing: Existing and Proposed Elevation A

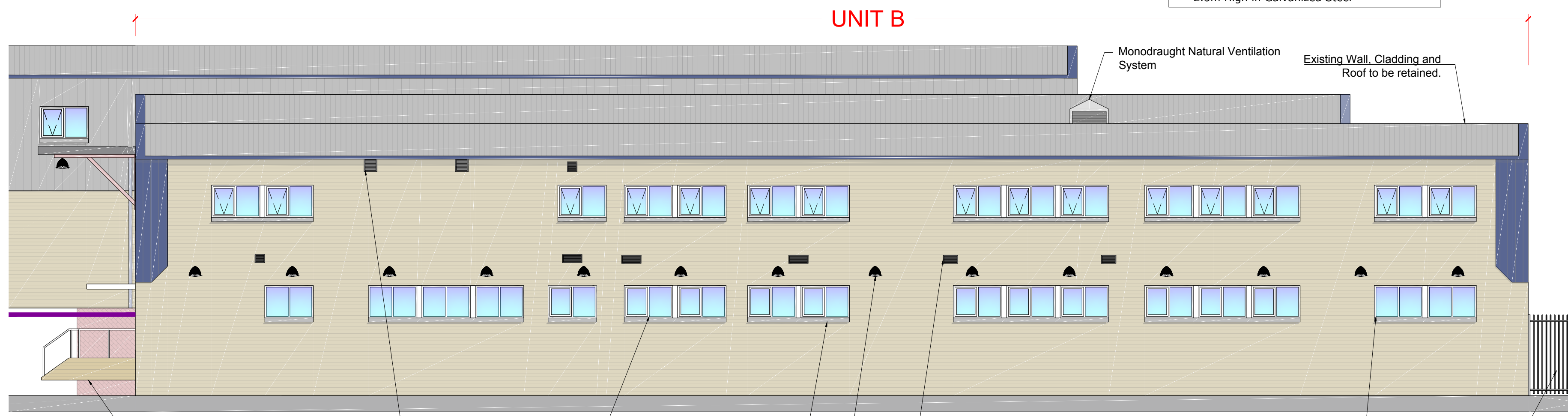
Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:

006
 S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING

Key

Position of Proposed Fencing

Jackson Security Barbican Fencing
 2.5m High in Galvanized Steel



Proposed Elevation

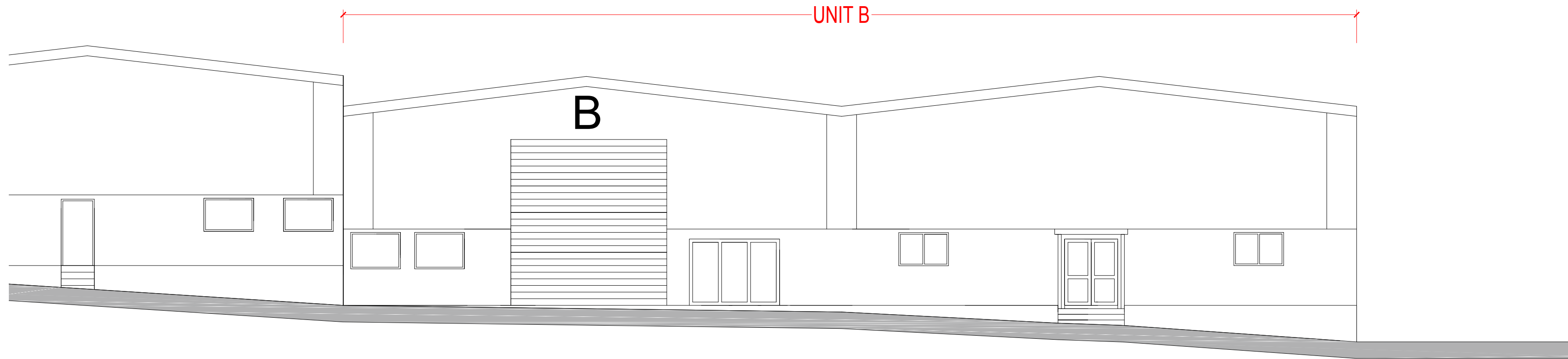
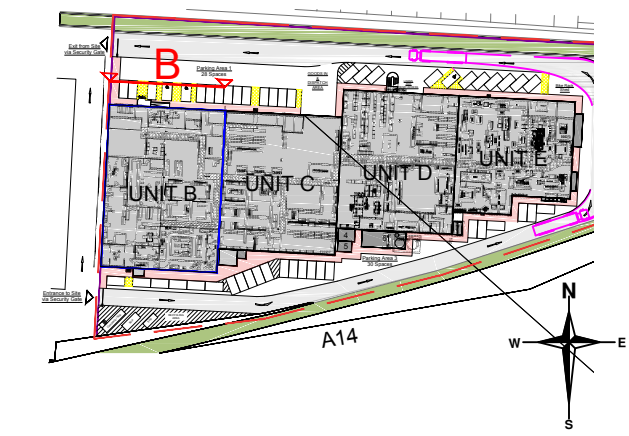
- Proposed Canopy over new Ramp/Stairs to Main Entrance.
- Fixed Windows at Ground Floor Level for Security.
- Extract Vents from Toilets and Kitchen
- New Cills to be installed.
- Down Facing Lighting - Min 3m above ground at 3m c/c. - 1:1 Forward throw ratio Luminance to meet Building Regulations
- Air Extract Louvers for Air Conditioning System
- New Powder Coated Aluminium Windows. Windows will meet Acoustic and Thermal Requirements as per Building Regulations.
- Proposed Barbican Fencing to Perimeter. 2.5m High Galvanized Steel

Unit B, Anglian Lane - Elevation B, North Facing

Scale 1:100


Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

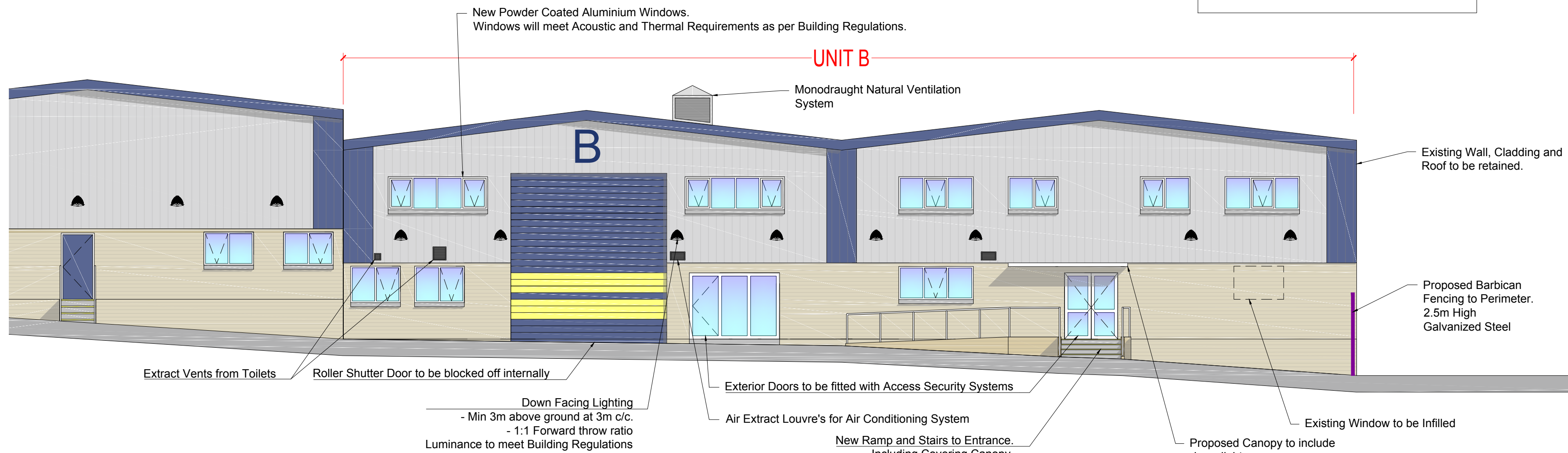
Elevations Drawings: B - North Facing



Existing Elevation

Key

-  Position of Proposed Fencing
- Jackson Security Barbican Fencing
2.5m High in Galvanized Steel



Proposed Elevation

Notes:

Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit B, Anglian Lane
 Bury St Edmunds

Drawing: Existing and Proposed Elevation B

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:   

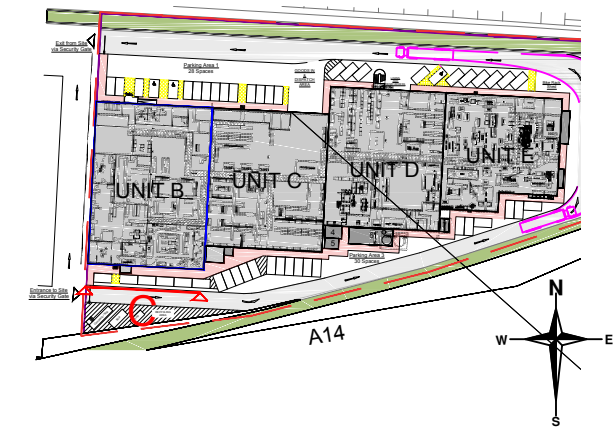
007
 S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING

Unit B, Anglian Lane - Elevation C, South Facing

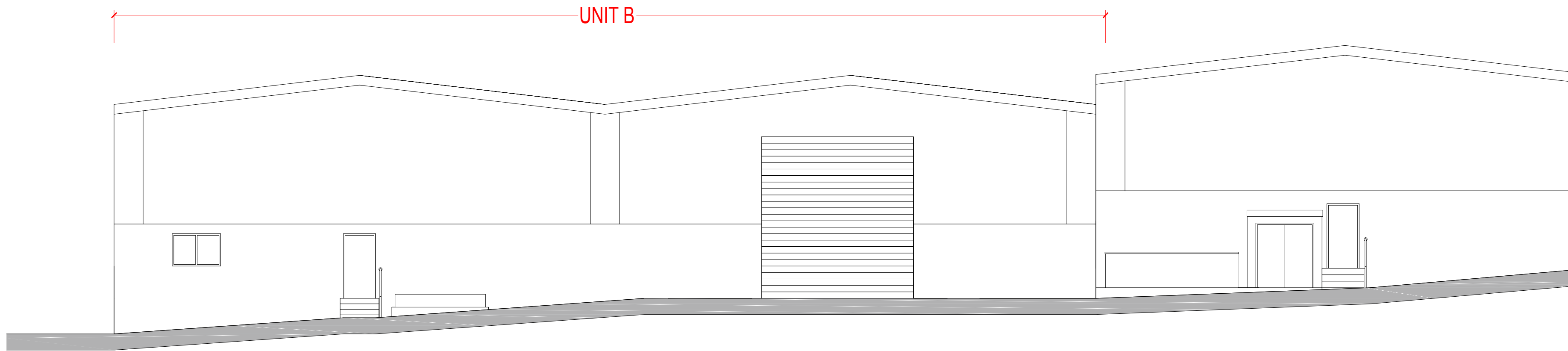
Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: C - South Facing, A14



Notes:



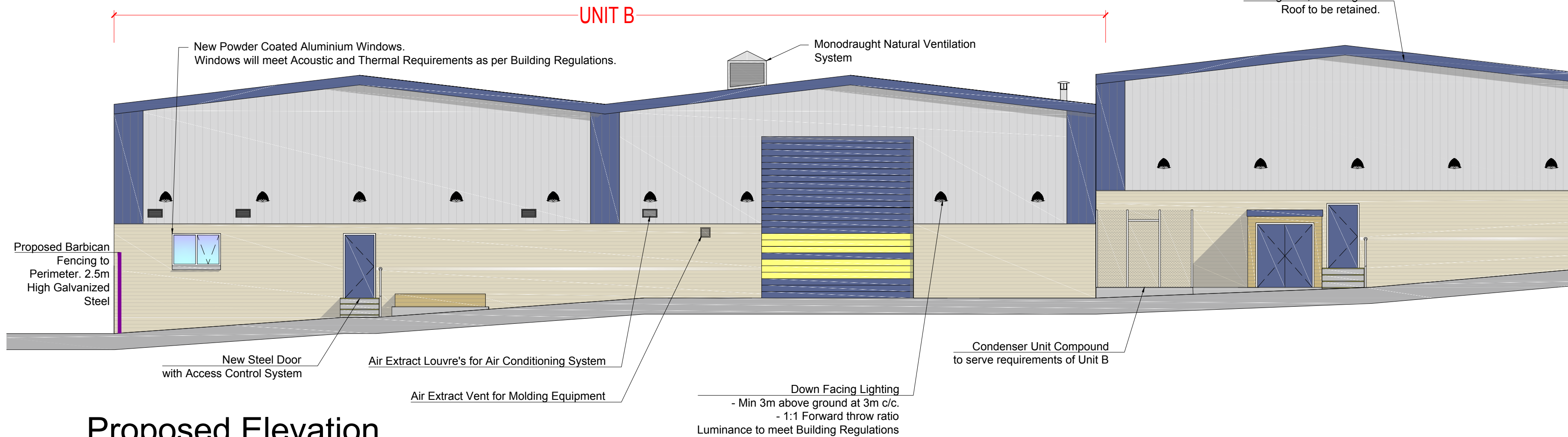
Existing Elevation

Key

- Position of Proposed Fencing
- Jackson Security Barbican Fencing
2.5m High in Galvanized Steel

Revision	Description	Date	Drawn

PLANNING



Proposed Elevation



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit B, Anglian Lane
 Bury St Edmunds

Drawing: Existing and Proposed Elevation C

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



008

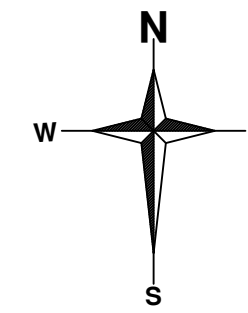
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT B - PLANNING

Unit C, Anglian Lane - Proposed Site Plan

1:500

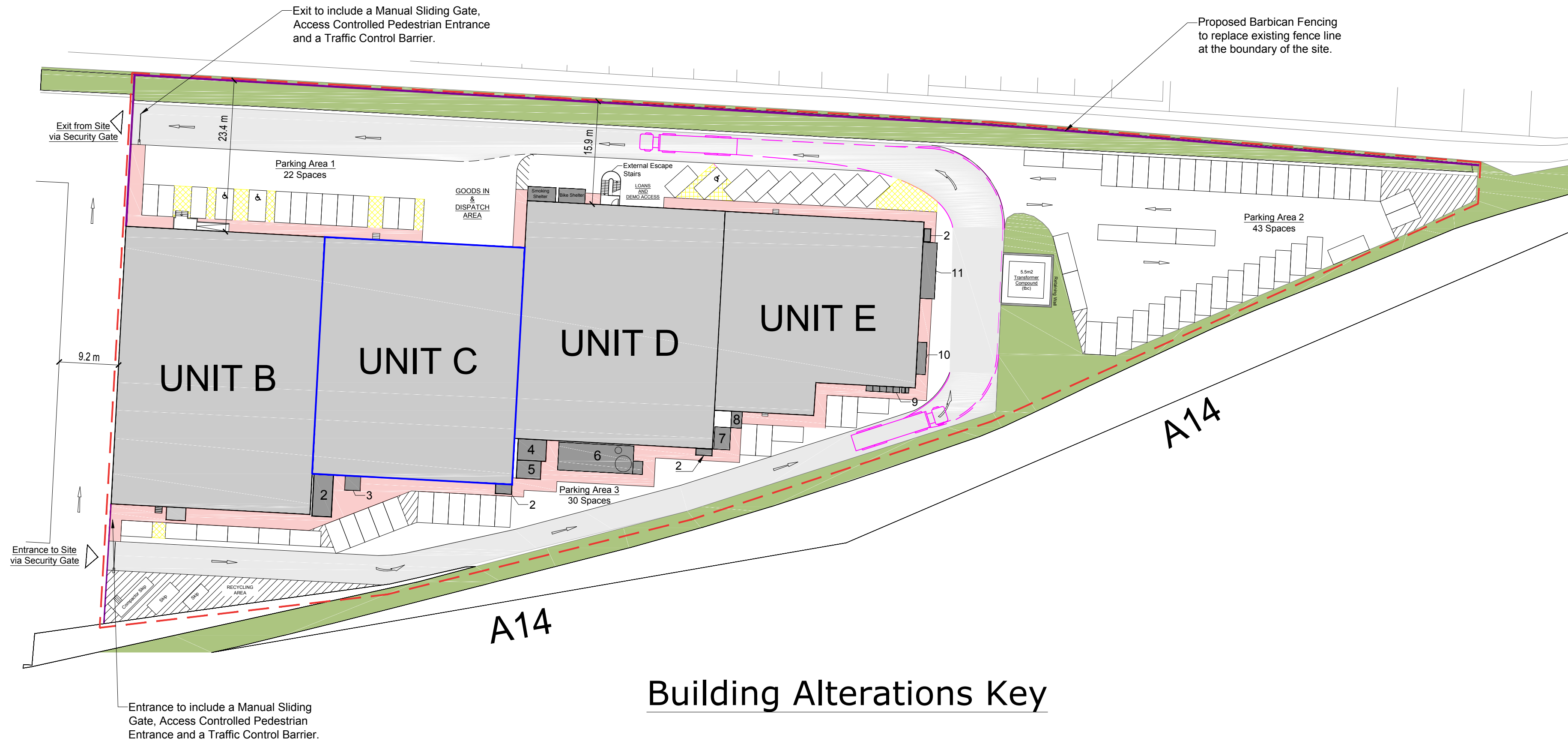
Key

- Proposed Main Traffic Route
- Direction indicated by arrows.
- Application Site Perimeter Line
- Location of Application
- Proposed New Fence with Security Gates
(Jacksons Barbican Fencing System)



Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Notes:



Building Alterations Key

- 2 - Condenser Units for Mechanical Air Conditioning System.
- 3 - Waste Electrical Equipment Room
- 4 - Existing store area adjusted to create a Air Compressor Room.
- 5 - Existing Storage building to be adjusted to house Chemical Store

- 6 - Effluent Treatment Building, including waste water pit.
- 7 - Proposed Fettle Extraction Unit.
- 8 - 60 KeV Generator
- 9 - Sarnif Storage Area
- 10 - New Oil / Coolant Store
- 11 - Waste Oil / Coolant Store

Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ

Tel: +44 (0) 121 200 2050
Fax: +44 (0) 121 200 3022
www.cushmanwakefield.com

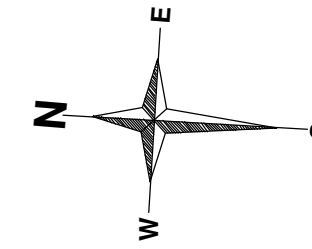
Client: Vitec Videocom Ltd
Project: Unit C, Anglian Lane Industrial Estate
Bury St. Edmunds

Drawing: Proposed Site Plan

Scale: 1:500 @ A2 Drawn by: MC
Date: March 2016 Checked by: AI
Drawing Number: Revision:

Unit C, Anglian Lane - Existing Ground Floor

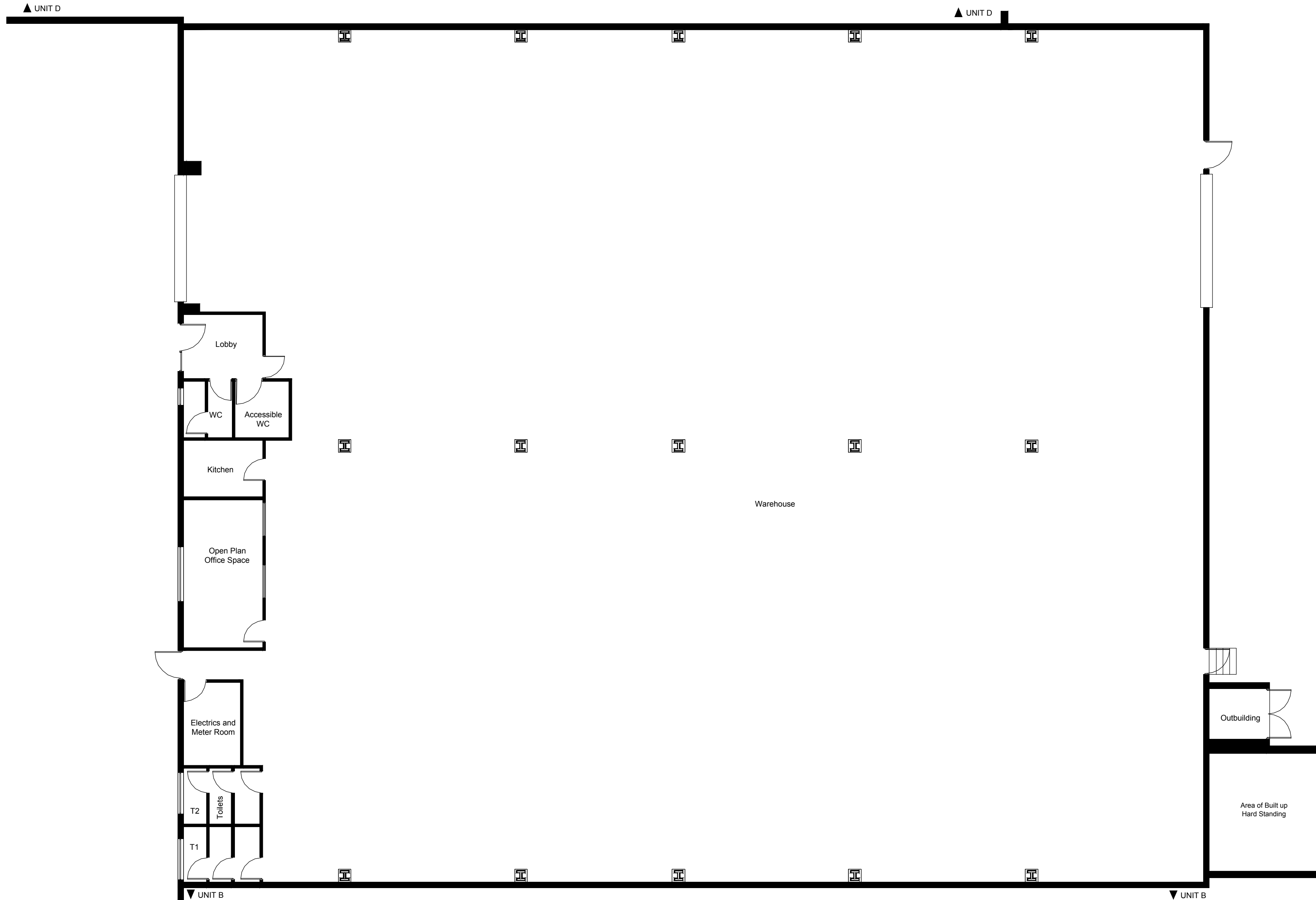
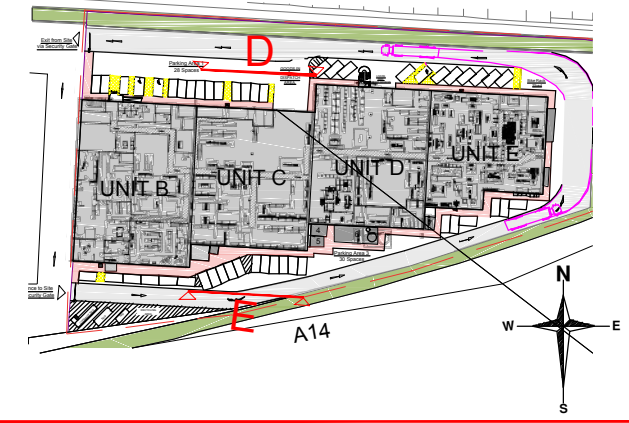
Scale 1:100



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:

D - 105 E - 106



Notes:

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050

Fax: +44 (0) 121 200 3022

www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit C, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Existing Ground Floor Layout

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



102

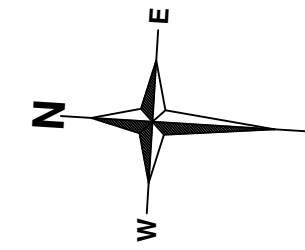
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT C - PLANNING

Unit C, Anglian Lane - Proposed Ground Floor

Scale 1:100

Key

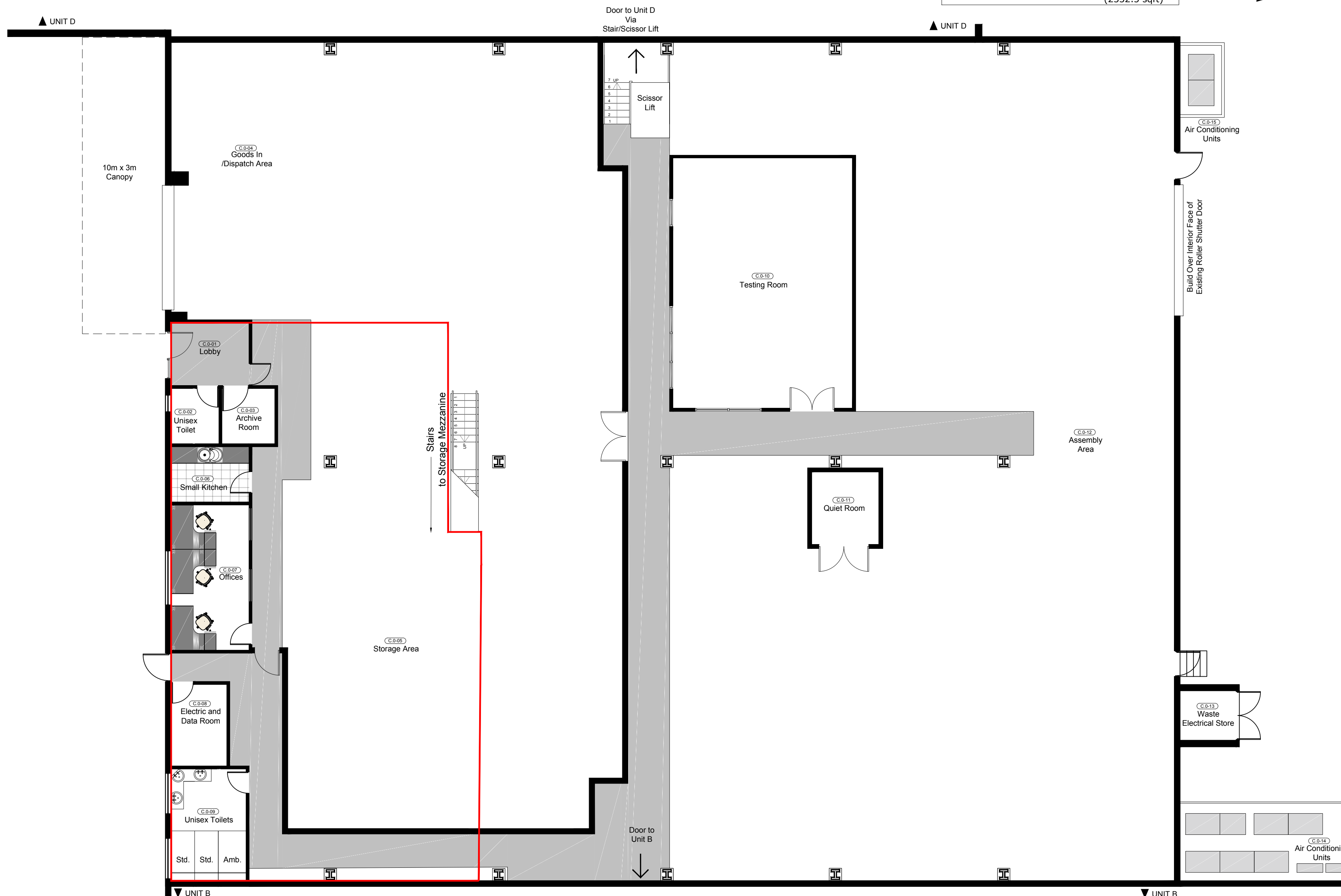
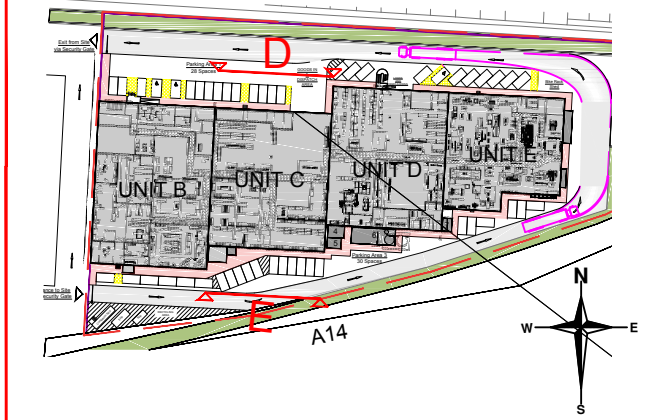
Boundary of Proposed Mezzanine Floor
 Total Proposed Ground Floor Area = 1111 sqm (11959 sqft)
 Total Proposed Mezzanine Area = 216.7 sqm (2332.5 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed. All dimensions to be checked on site before work commences. © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission.

Elevations Drawings:

D - 105 E - 106



Notes:

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit C, Anglian Lane Industrial Estate
Bury St Edmunds

Drawing: Proposed Ground Floor Layout

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:



Unit C, Anglian Lane - Proposed Mezzanine Floor

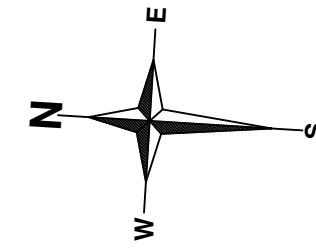
Scale 1:100

Key

— Boundary of Proposed Mezzanine Floor

Total Proposed Ground Floor Area = 1111 sqm (11959 sqft)

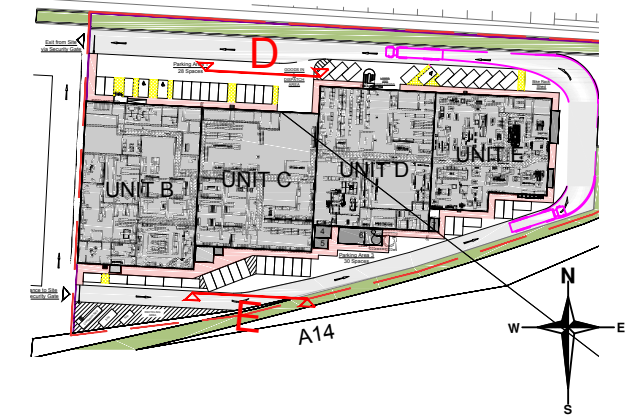
Total Proposed Mezzanine Area = 216.7 sqm (2332.5 sqft)



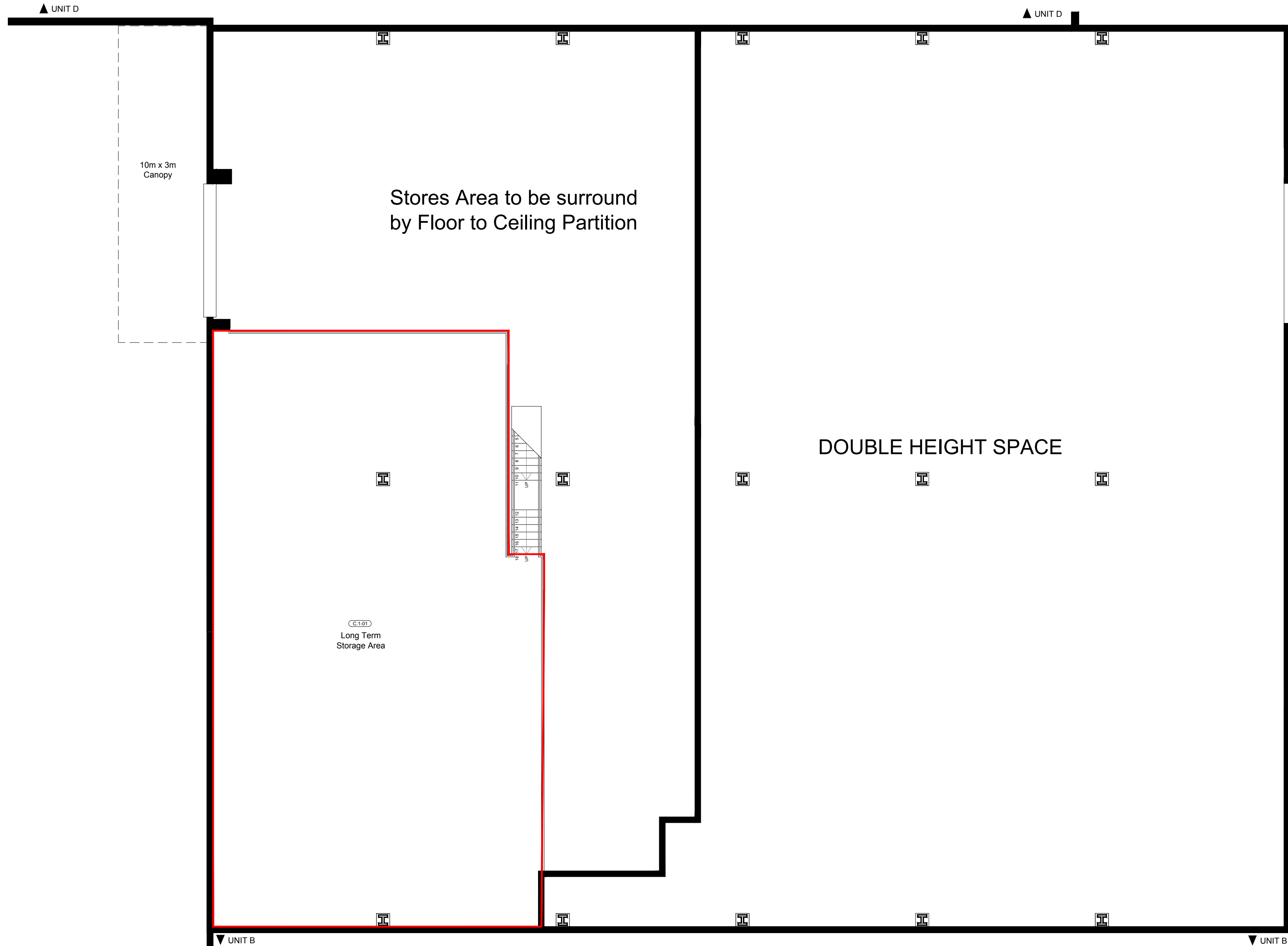
Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:

D - 105 E - 106



Notes:



Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit C, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Proposed Mezzanine Layout

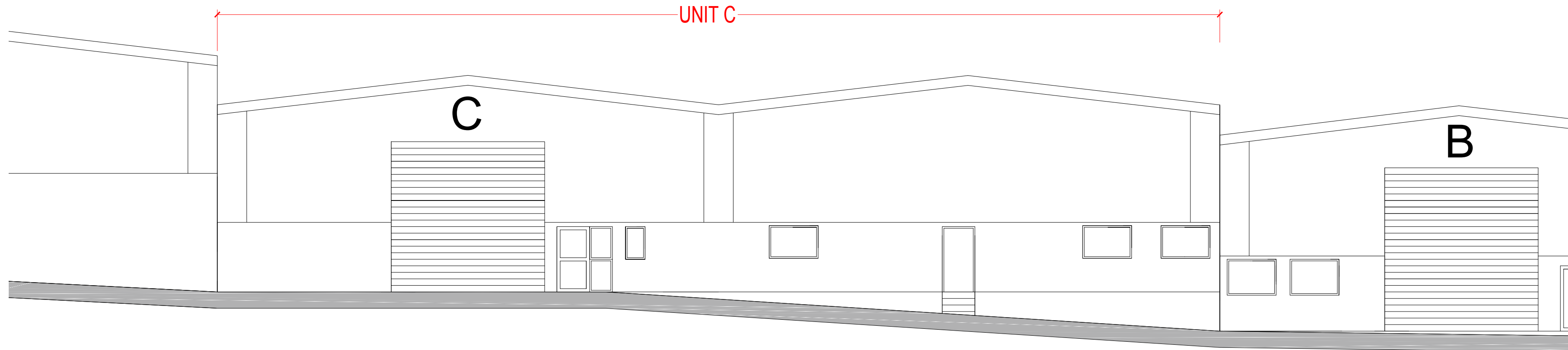
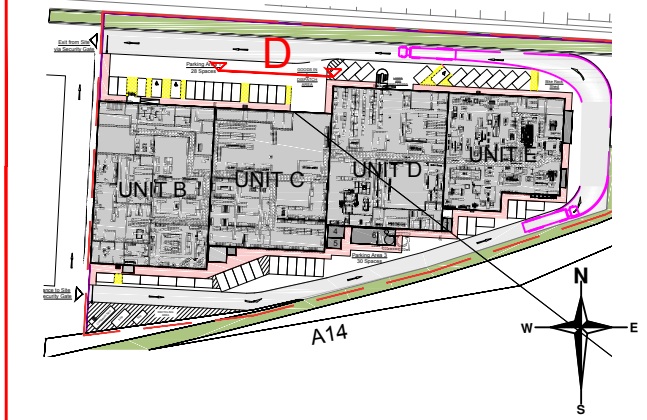
Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:

Unit C, Anglian Lane - Elevation D, North Facing

Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: D - North Facing

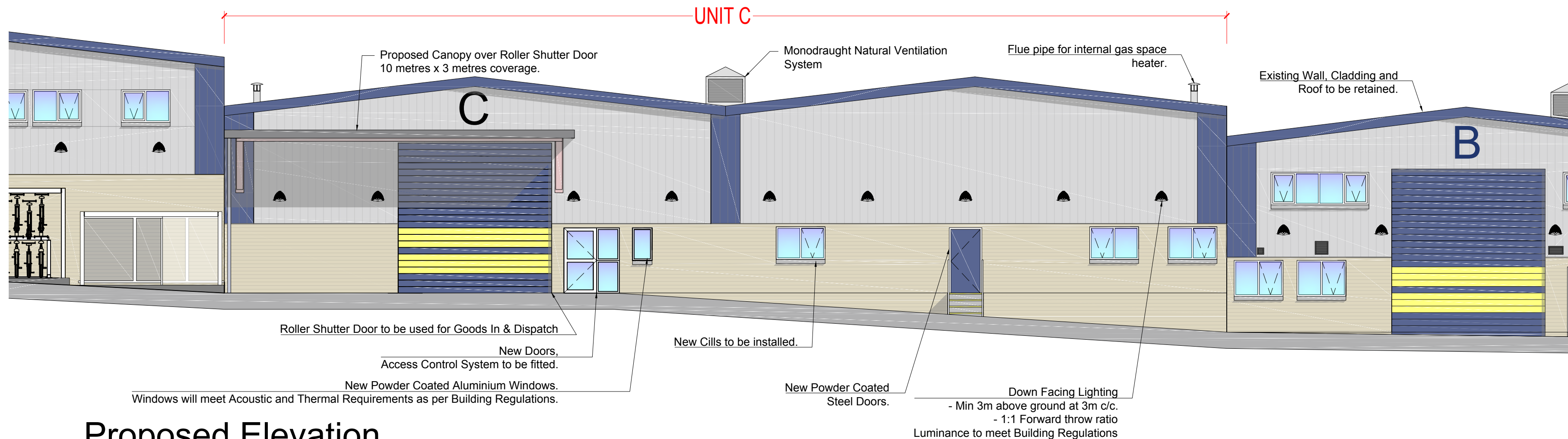


Existing Elevation

Notes:

Revision	Description	Date	Drawn

PLANNING



Proposed Elevation



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ
Tel: +44 (0) 121 200 2050
Fax: +44 (0) 121 200 3022
www.cushmanwakefield.com

Client: Vitec Videocom Ltd
Project: Unit C, Anglian Lane Industrial Estate
Bury St Edmunds

Drawing: Existing and Proposed
Elevation D

Scale: 1:100 @ A2 Drawn by: MC
Date: March 2016 Checked by: AI
Drawing Number: Revision:

105 DRAFT

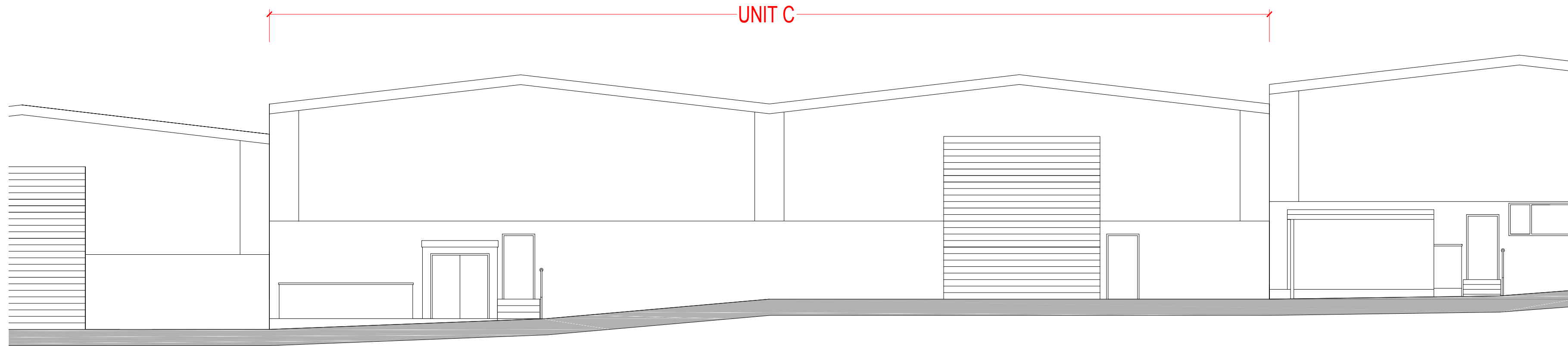
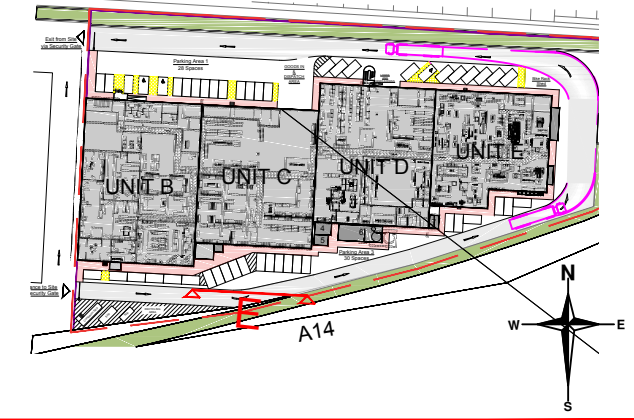
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT C - PLANNING

Unit C, Anglian Lane - Elevation E, South Facing

Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

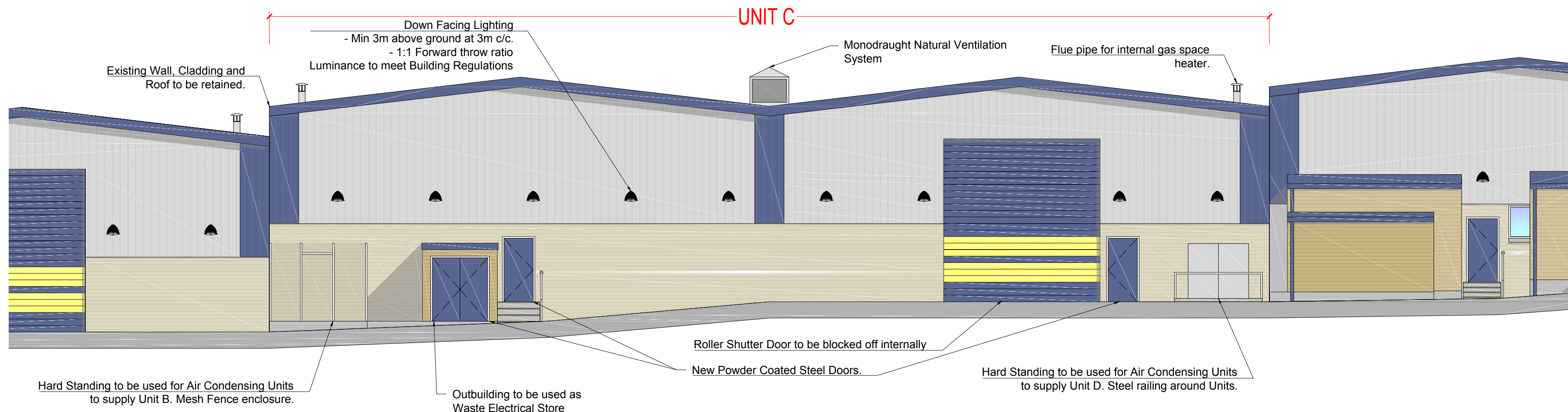
Elevations Drawings: E - South Facing, A14



Existing Elevation

Notes:

Revision	Description	Date	Drawn



Proposed Elevation



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd
 Project: Unit C, Anglian Lane Industrial Estate
 Bury St Edmunds





Drawing: Existing and Proposed
 Elevation E

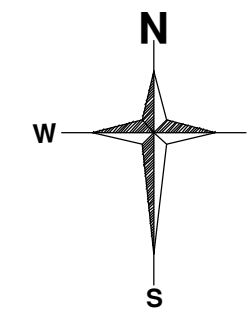
Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:

Unit D, Anglian Lane - Proposed Site Plan

1:500

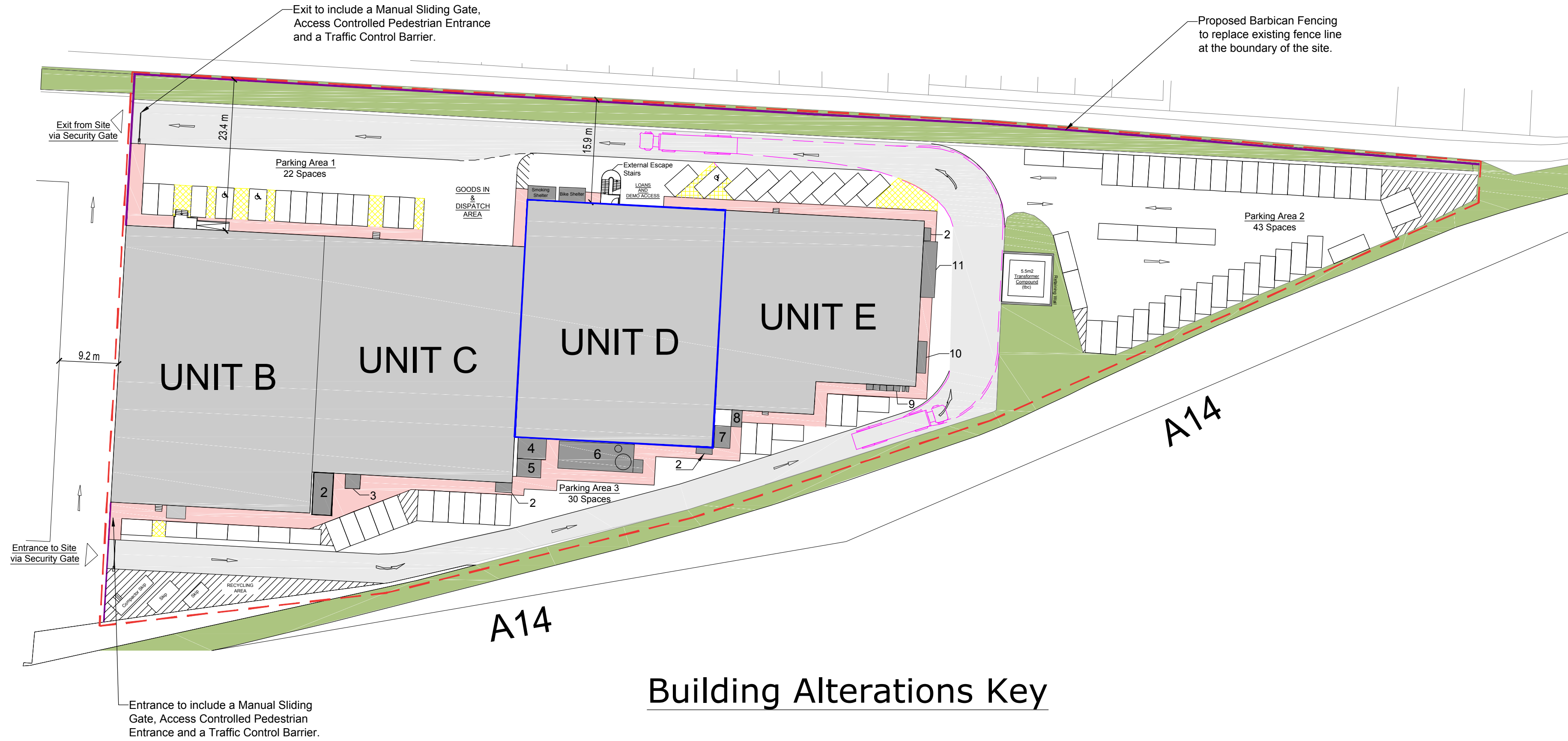
Key

-  Proposed Main Traffic Route
- Direction indicated by arrows.
-  Application Site Perimeter Line
-  Location of Application
-  Proposed New Fence with Security Gates
(Jacksons Barbican Fencing System)



Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Notes:



Revision	Description	Date	Drawn
PLANNING			




Building Alterations Key

- 2 - Condenser Units for Mechanical Air Conditioning System.
- 3 - Waste Electrical Equipment Room
- 4 - Existing store area adjusted to create a Air Compressor Room.
- 5 - Existing Storage building to be adjusted to house Chemical Store
- 6 - Effluent Treatment Building, including waste water pit.
- 7 - Proposed Fettle Extraction Unit.
- 8 - 60 KeV Generator
- 9 - Sarnif Storage Area
- 10 - New Oil / Coolant Store
- 11 - Waste Oil / Coolant Store



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ
Tel: +44 (0) 121 200 2050
Fax: +44 (0) 121 200 3022
www.cushmanwakefield.com

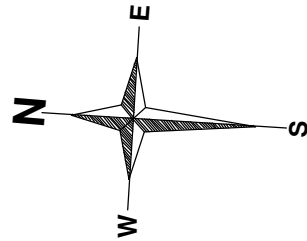
Client: Vittec Videocom Ltd
Project: Unit D, Anglian Lane Industrial Estate
Bury St. Edmunds
Drawing: Proposed Site Plan

Scale: 1:500 @ A2 Drawn by: MC
Date: March 2016 Checked by: AI
Drawing Number: Revision:   
201
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT D - PLANNING

Unit D, Anglian Lane - Existing Ground Floor

Scale 1:100

Total Existing Ground Floor Area = 1107 sqm
(11915 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:
F - 206 G - 207 H - 205

Notes:

Revision	Description	Date	Drawn

PLANNING



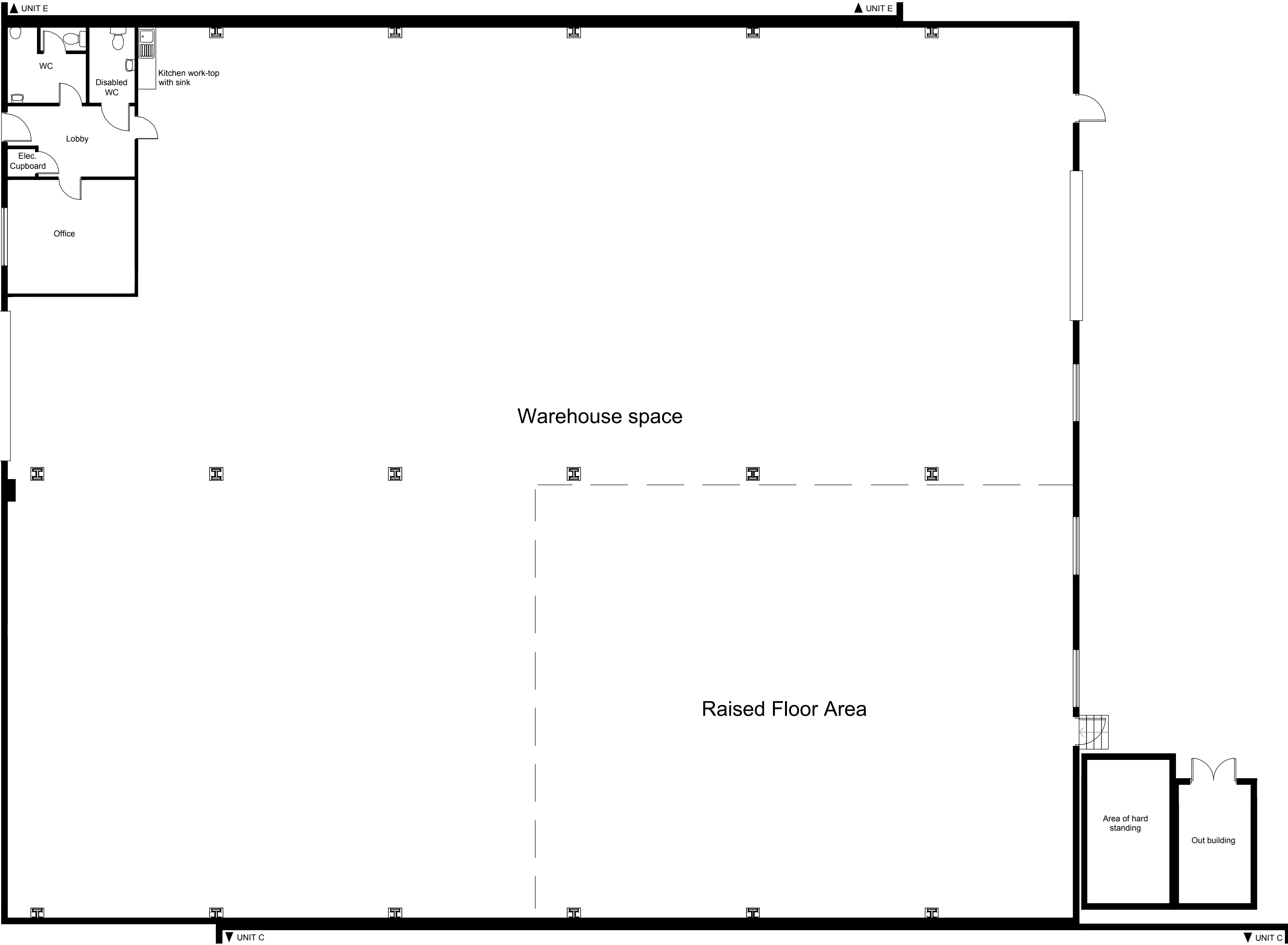
No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ
Tel: +44 (0) 121 200 2050
Fax: +44 (0) 121 200 3022
www.cushmanwakefield.com

Client: Vittec Videocom Ltd
Project: Unit C, Anglian Lane Industrial Estate
Bury St Edmunds

Drawing: Existing Ground Floor Layout

Scale: 1:100 @ A2 Drawn by: MC
Date: March 2016 Checked by: AI
Drawing Number: Revision:

202
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT D - PLANNING



Unit D, Anglian Lane - Proposed Ground Floor

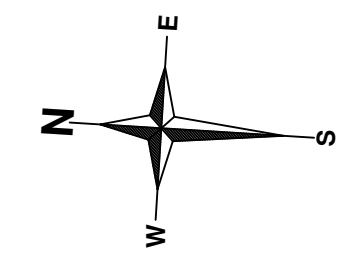
Scale 1:100

Key

Boundary of Proposed Mezzanine Floor

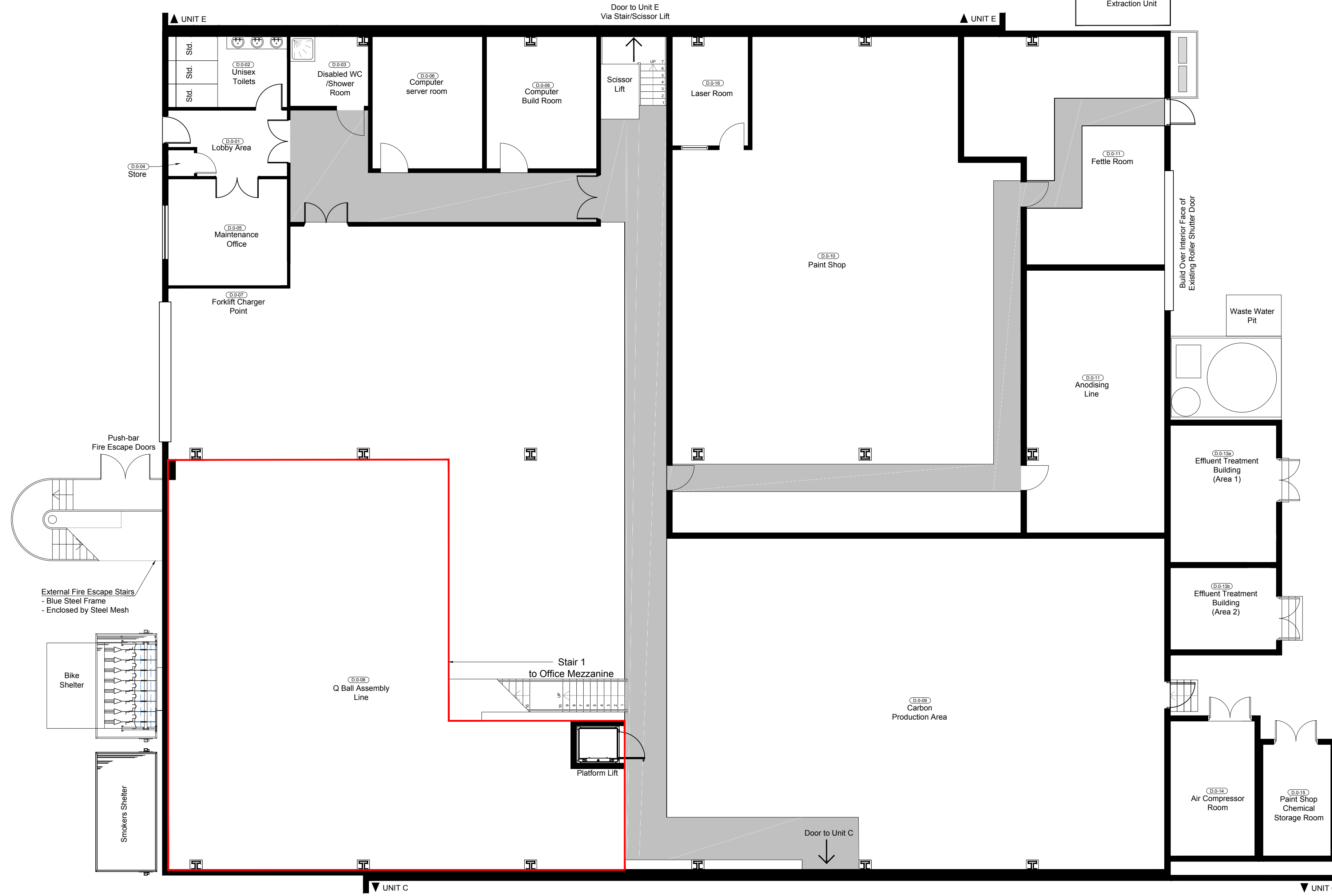
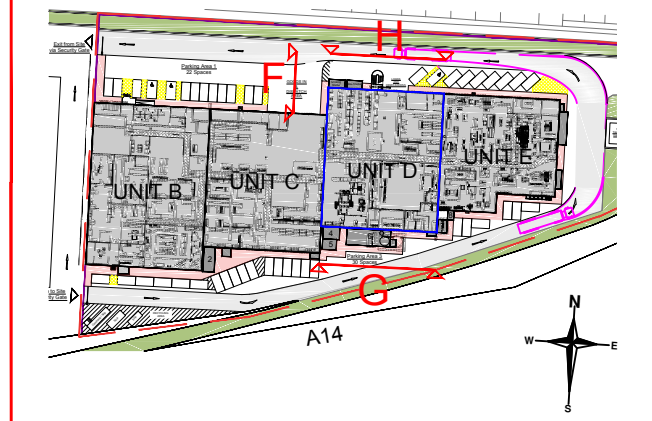
Total Proposed Ground Floor Area = 1152sqm (12400 sqft)

Total Proposed Mezzanine Area = 186.9 sqm (2012 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:
 F - 206 G - 207 H - 205



Notes:

Revision	Description	Date	Drawn

PLANNING

CUSHMAN & WAKEFIELD

No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit C, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Proposed Ground Floor Layout

Unit D, Anglian Lane - Proposed Mezzanine Floor

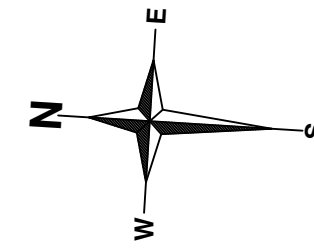
Scale 1:100

Key

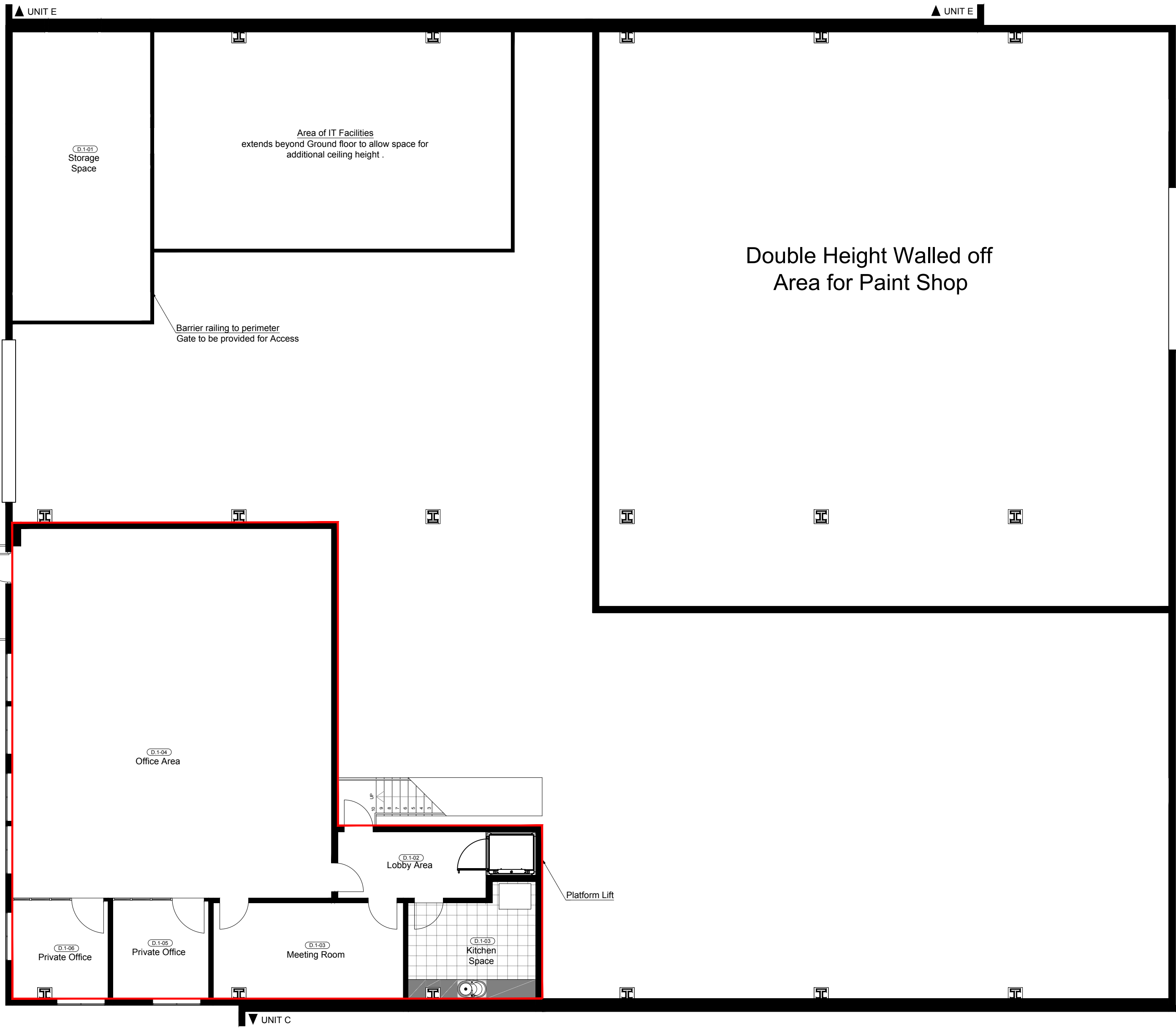
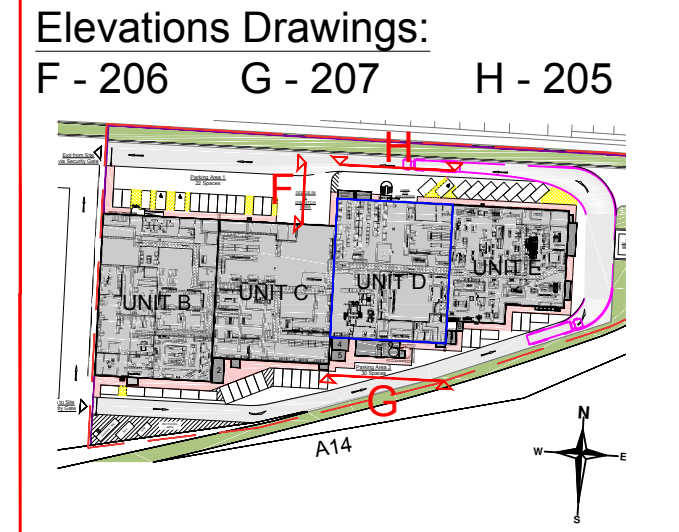
Boundary of Proposed Mezzanine Floor

Total Proposed Ground Floor Area = 1152sqm (12400 sqft)

Total Proposed Mezzanine Area = 186.9 sqm (2012 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission



Notes:

Revision	Description	Date	Drawn

PLANNING

CUSHMAN & WAKEFIELD

No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit C, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Proposed Mezzanine Layout

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI

Drawing Number: 204 Revision:

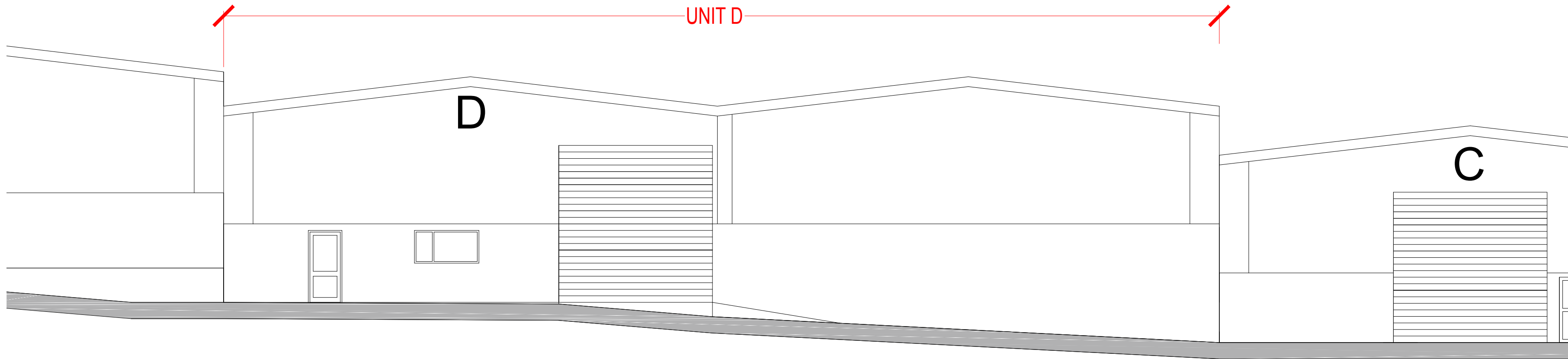
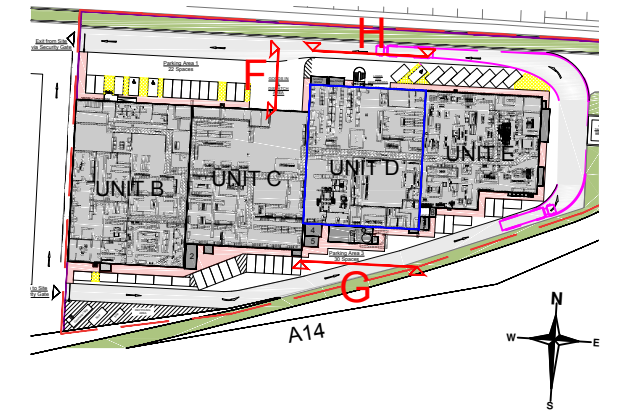
S:\Bcons\Open.Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT D - PLANNING

Unit D, Anglian Lane - Elevation H, North Facing

Scale 1:100

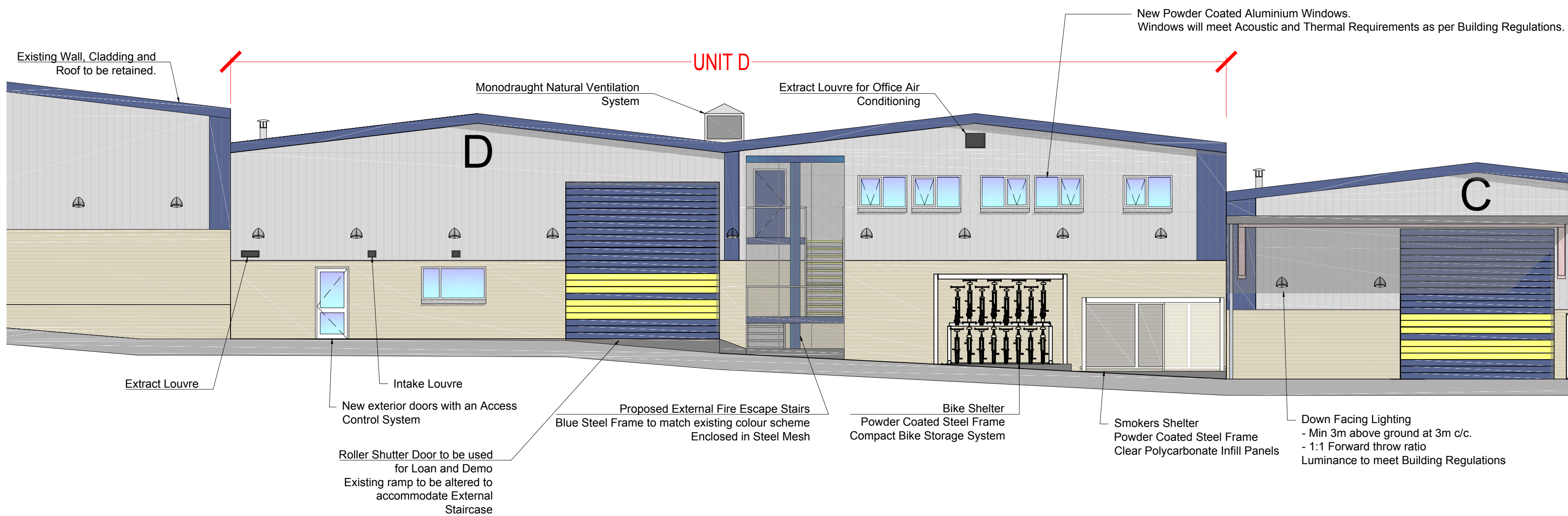
Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: H - North Facing



Existing Elevation

Notes:



Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ

Tel: +44 (0) 121 200 2050

Fax: +44 (0) 121 200 3022

www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit D, Anglian Lane Industrial Estate
Bury St Edmunds

Drawing: Existing and Proposed
Elevation H

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



205

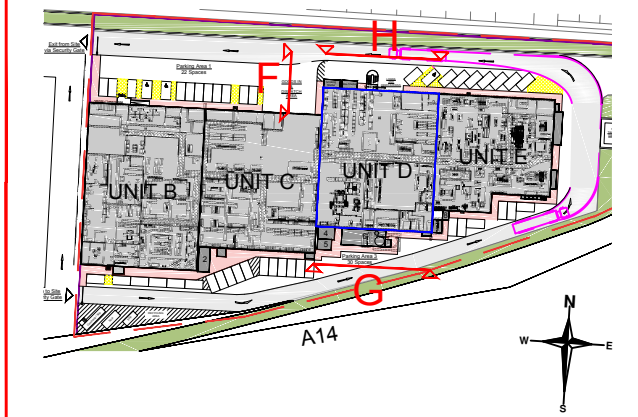
S:\Bcons\Open.Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT D - PLANNING

Unit D, Anglian Lane - Elevation F, West Facing

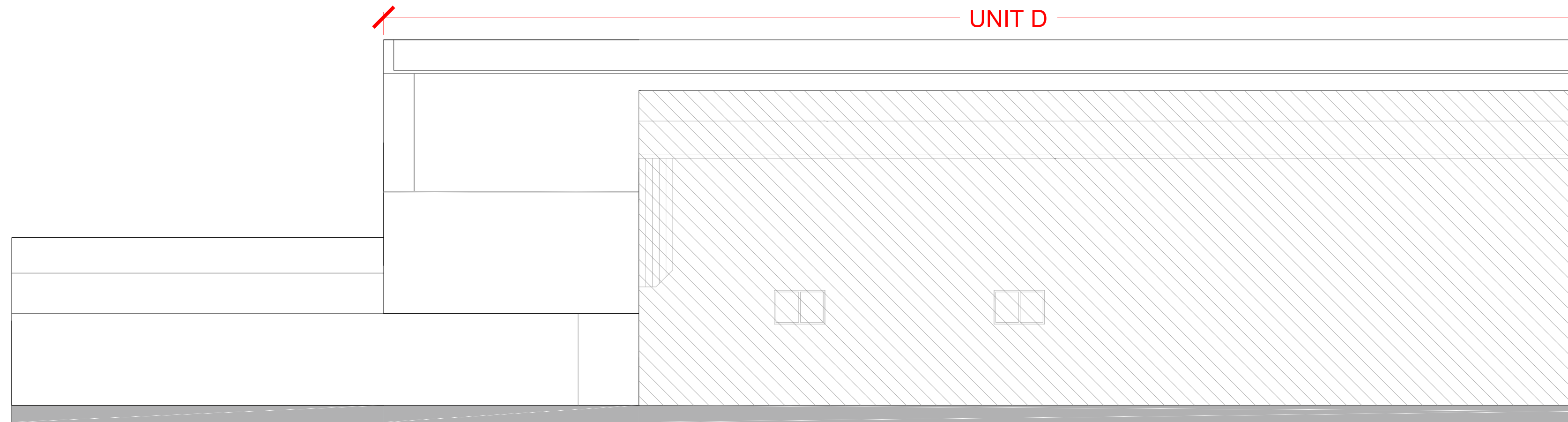
Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

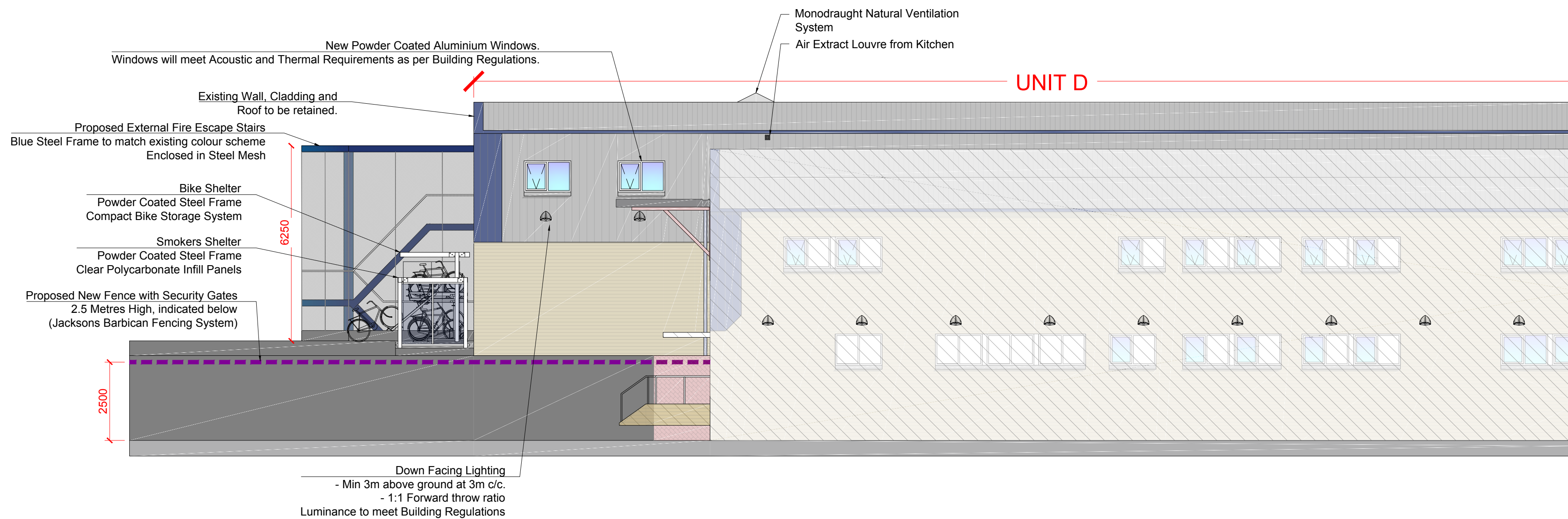
Elevations Drawings: F - North West Facing



Notes:



Existing Elevation



Proposed Elevation

Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ

Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit D, Anglian Lane Industrial Estate
Bury St Edmunds

Drawing: Existing and Proposed
Elevation F

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



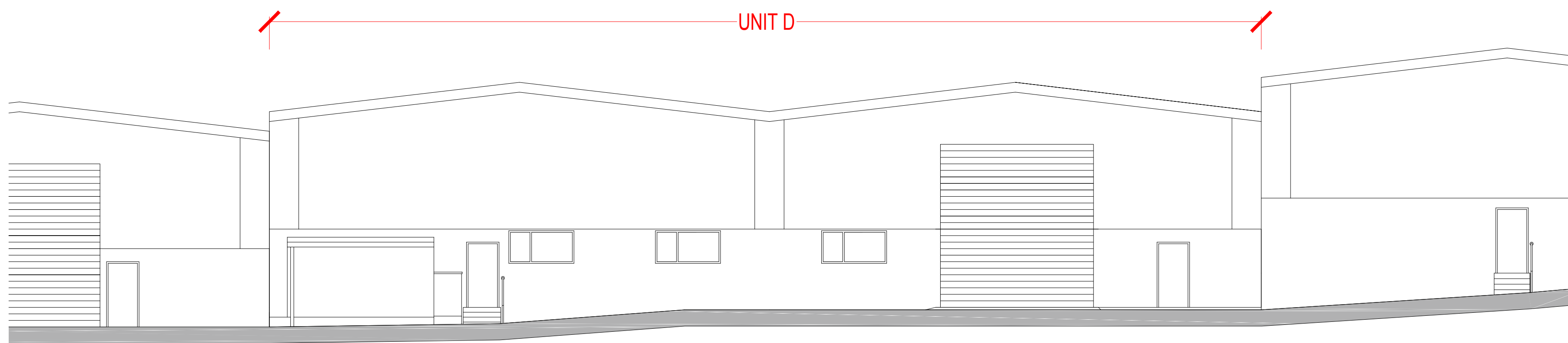
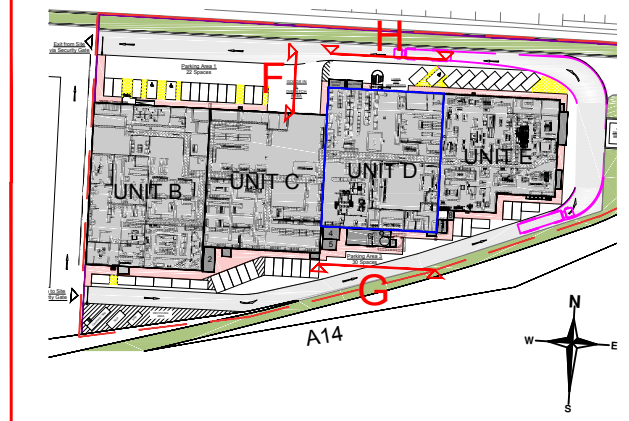
206
 S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT D - PLANNING

Unit D, Anglian Lane - Elevation G, South Facing

Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: G - South Facing A14

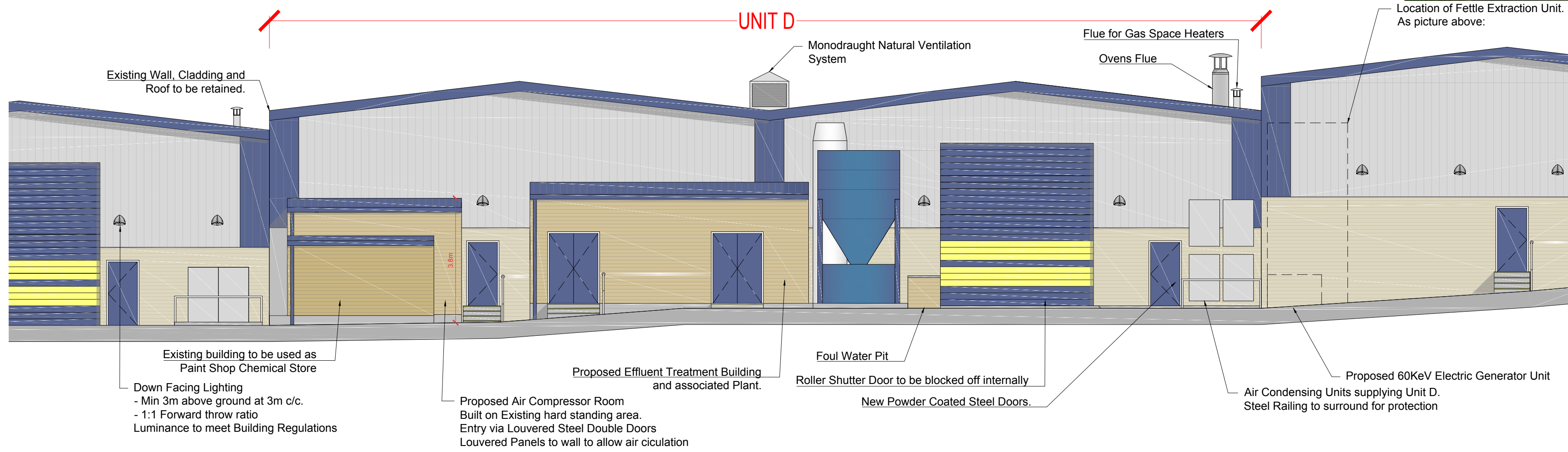


Notes:

Existing Elevation



Location of Fettle Extraction Unit.
As picture above:



Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit D, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Existing and Proposed
 Elevation G

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision:

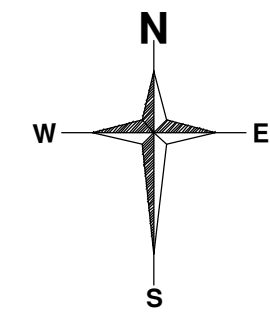
Proposed Elevation

Unit E, Anglian Lane - Proposed Site Plan

1:500

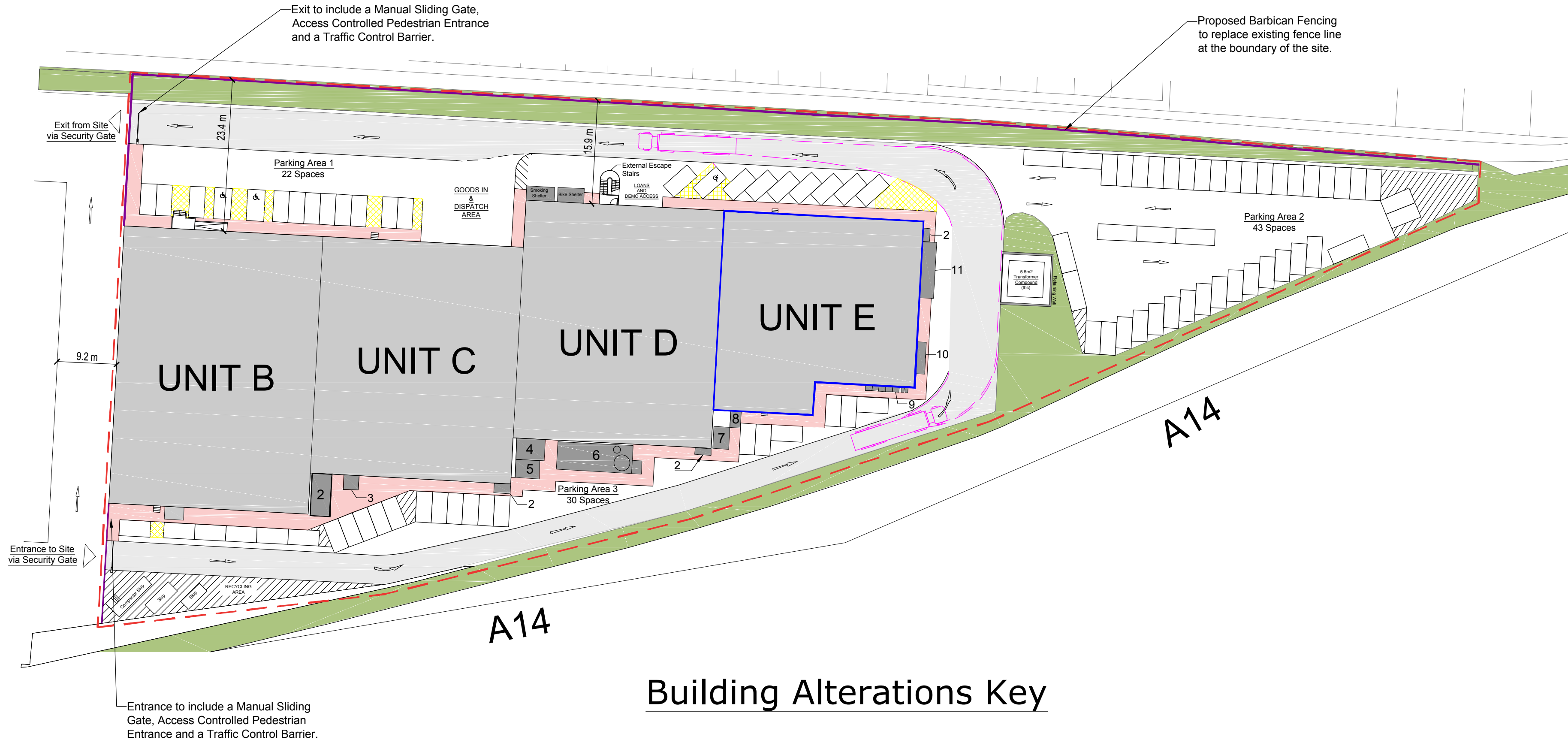
Key

- Proposed Main Traffic Route
- Direction indicated by arrows.
- Application Site Perimeter Line
- Location of Application
- Proposed New Fence with Security Gates
(Jacksons Barbican Fencing System)



Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Notes:



Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ

Tel: +44 (0) 121 200 2050

Fax: +44 (0) 121 200 3022

www.cushmanwakefield.com

Client: Vittec Videocom Ltd

Project: Unit E, Anglian Lane Industrial Estate
Bury St. Edmunds

Drawing: Proposed Site Plan

Building Alterations Key

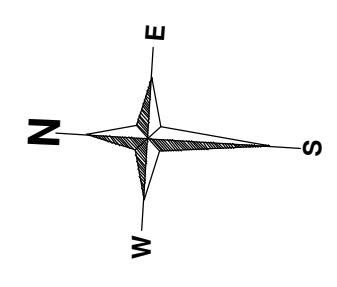
- 2 - Condenser Units for Mechanical Air Conditioning System.
- 3 - Waste Electrical Equipment Room
- 4 - Existing store area adjusted to create a Air Compressor Room.
- 5 - Existing Storage building to be adjusted to house Chemical Store

- 6 - Effluent Treatment Building, including waste water pit.
- 7 - Proposed Fettle Extraction Unit.
- 8 - 60 KeV Generator
- 9 - Sarnif Storage Area
- 10 - New Oil / Coolant Store
- 11 - Waste Oil / Coolant Store

Unit E, Anglian Lane - Existing Ground Floor

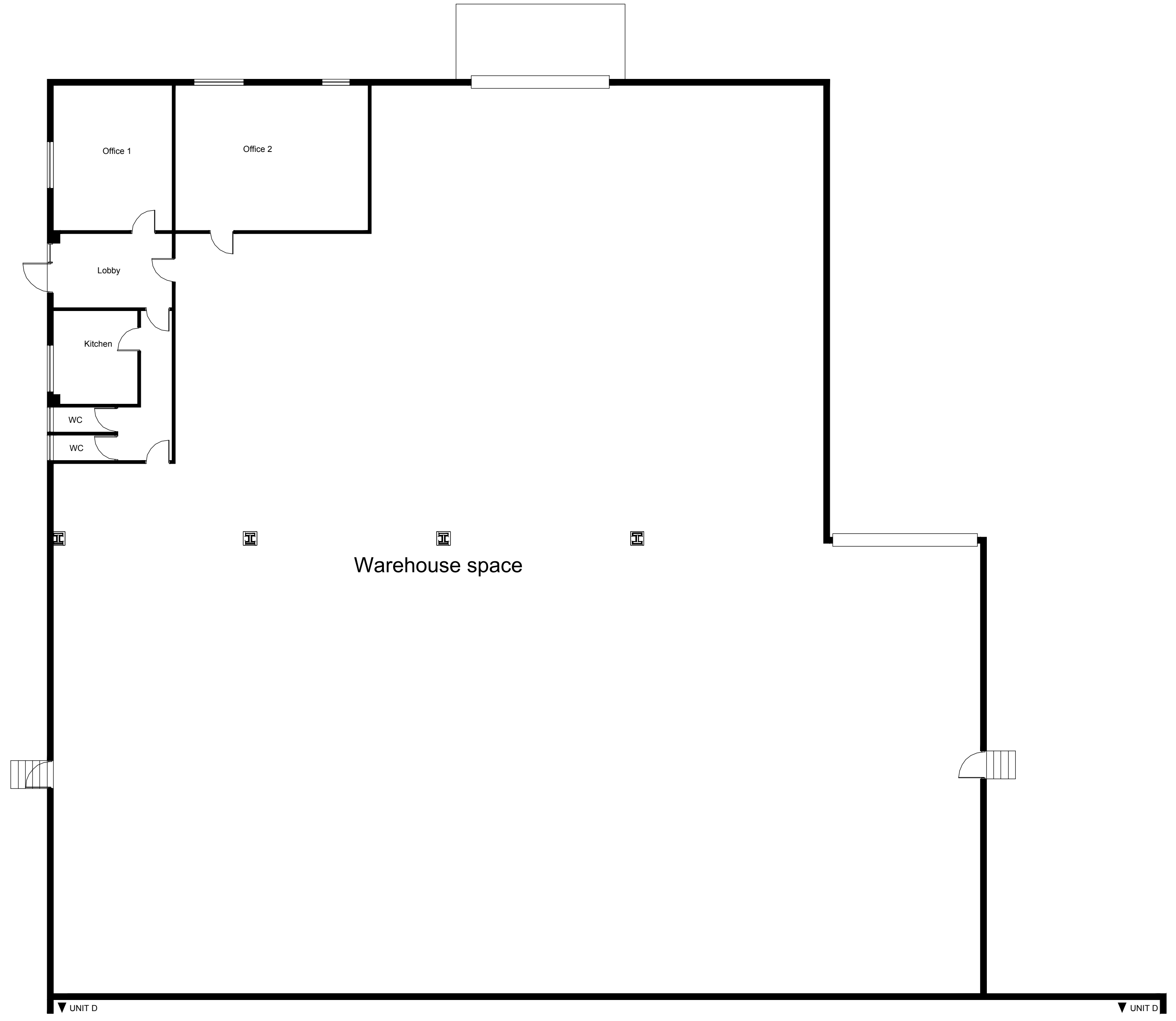
Scale 1:100

Total Existing Ground Floor Area = 856.3 sqm
(9217 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
All dimensions to be checked on site before work commences
© This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:
J - 305 K - 306 L - 307



Notes:

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
4th Floor
Birmingham
B4 6AJ
Tel: +44 (0) 121 200 2050
Fax: +44 (0) 121 200 3022
www.cushmanwakefield.com

Client: Vittec Videocom Ltd

Project: Unit E, Anglian Lane Industrial Estate
Bury St Edmunds

Drawing: Existing Ground Floor Layout

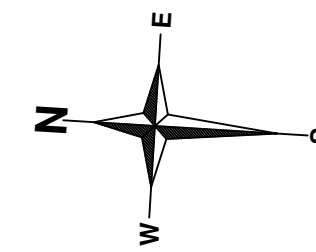
Scale: 1:100 @ A2 Drawn by: MC
Date: March 2016 Checked by: AI
Drawing Number: Revision:

302
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT E - PLANNING

Unit E, Anglian Lane - Proposed Ground Floor

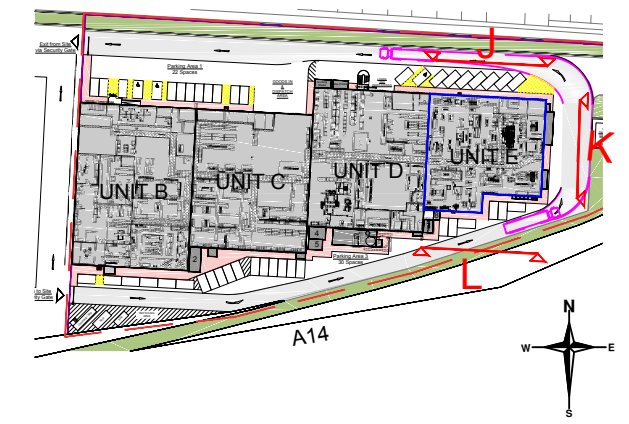
Scale 1:100

Total Existing Ground Floor Area = 856.3sqm (9217 sqft)
 Total Proposed Ground Floor Area = 882 sqm (9494 sqft)
 Total Proposed First Floor Area = 50 sqm (538 sqft)



Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings:
 J - 305 K - 306 L - 307



Notes:

Revision	Description	Date	Drawn
PLANNING			



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit E, Anglian Lane Industrial Estate
 Bury St Edmunds

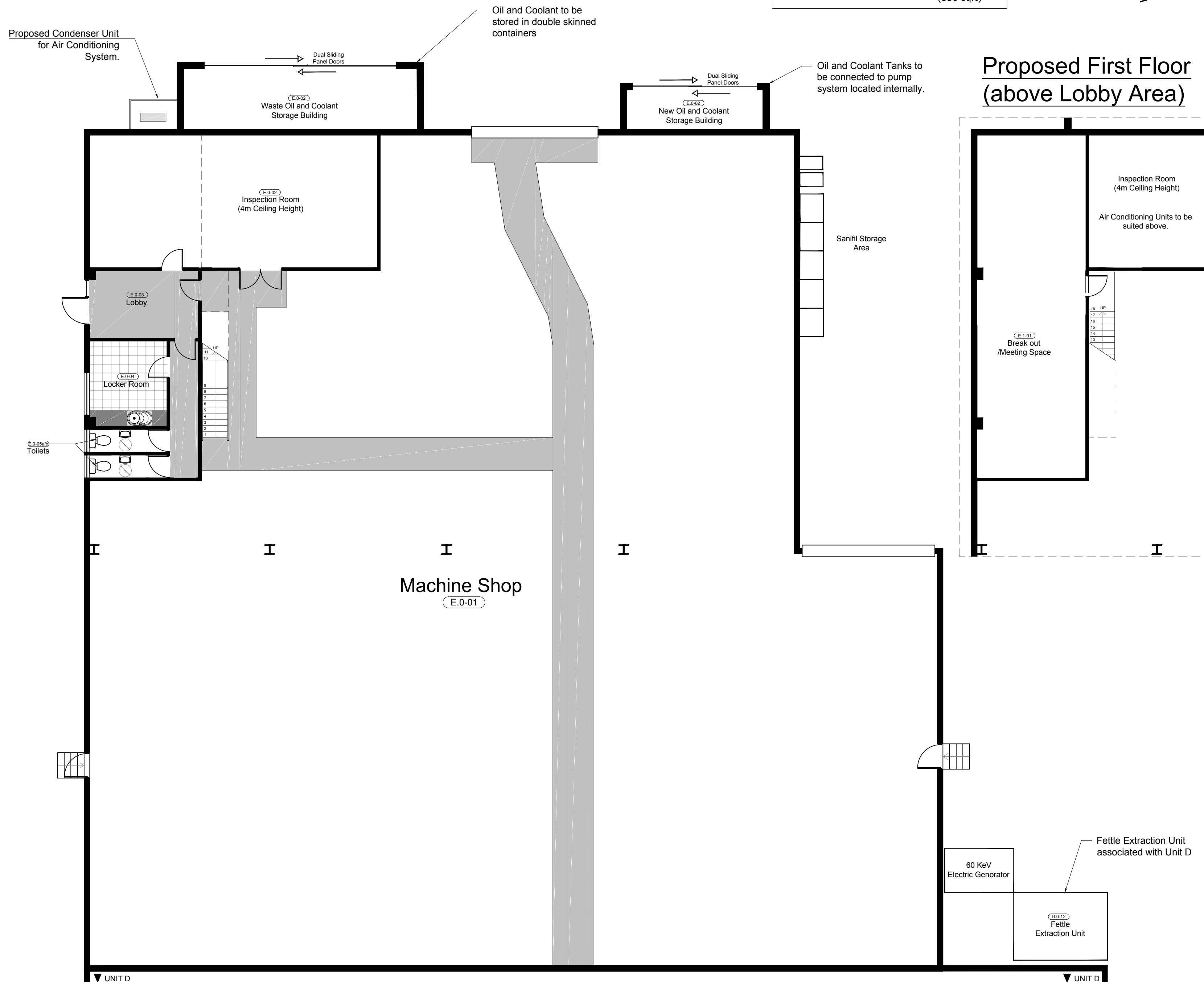
Drawing: Proposed Ground Floor Layout

Scale: 1:100 @ A2 Drawn by: MC

Date: April 2016 Checked by: AI

Drawing Number: Revision:

303
 S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT E - PLANNING

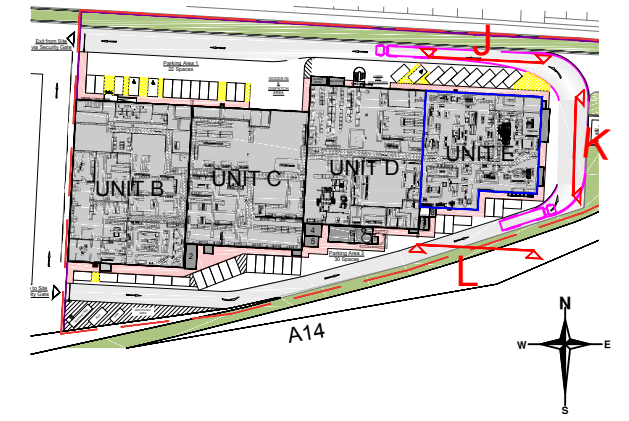


Unit E, Anglian Lane - Elevation J, North Facing

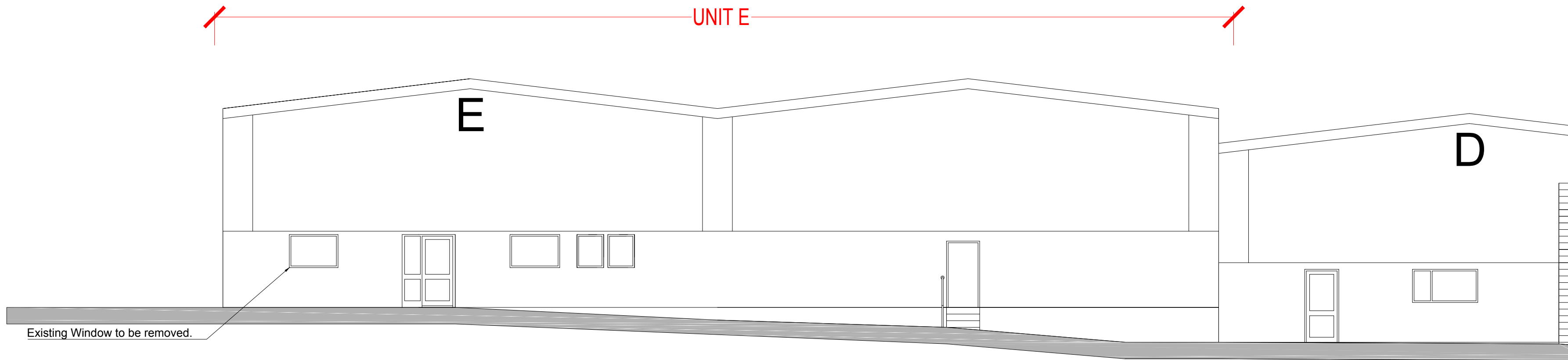
Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: J - North Facing

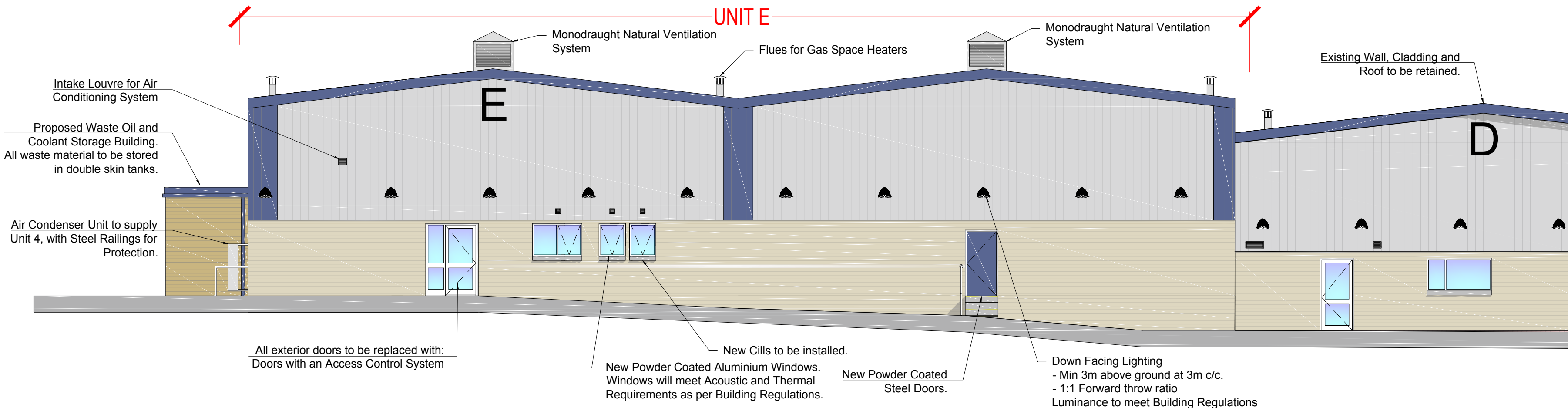


Notes:



Existing Elevation

Revision	Description	Date	Drawn
PLANNING			



Proposed Elevation



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd
 Project: Unit D, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Existing and Proposed
 Elevation J

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



304

S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT E - PLANNING

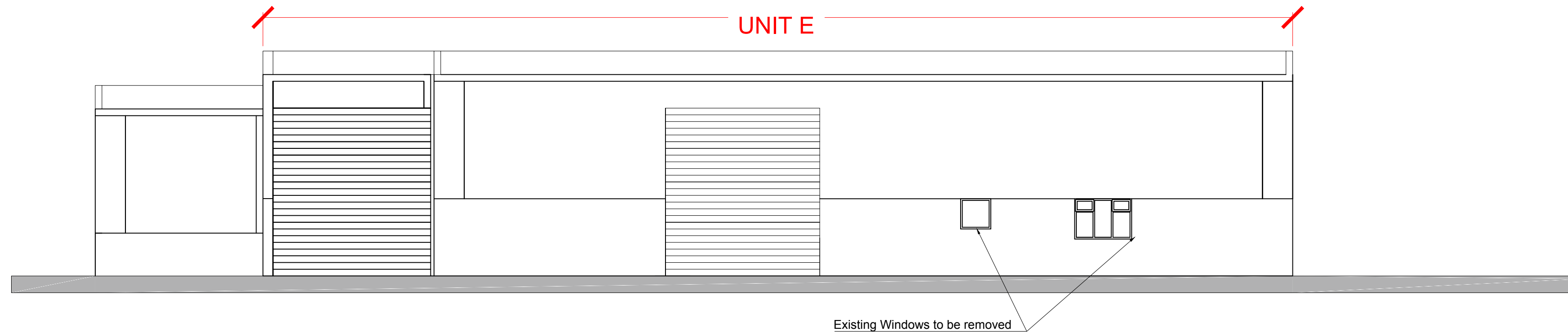
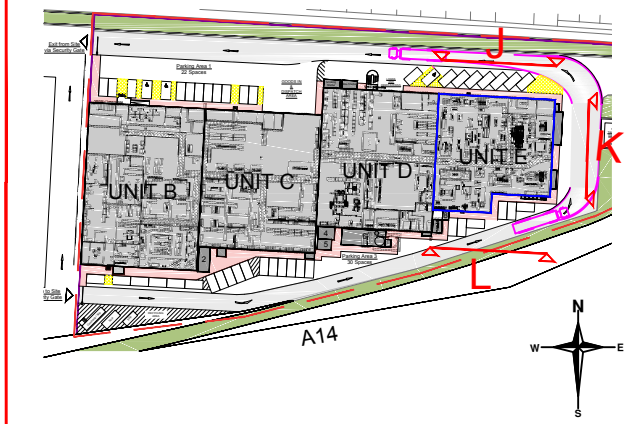
Unit E, Anglian Lane - Elevation K, North Facing

Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

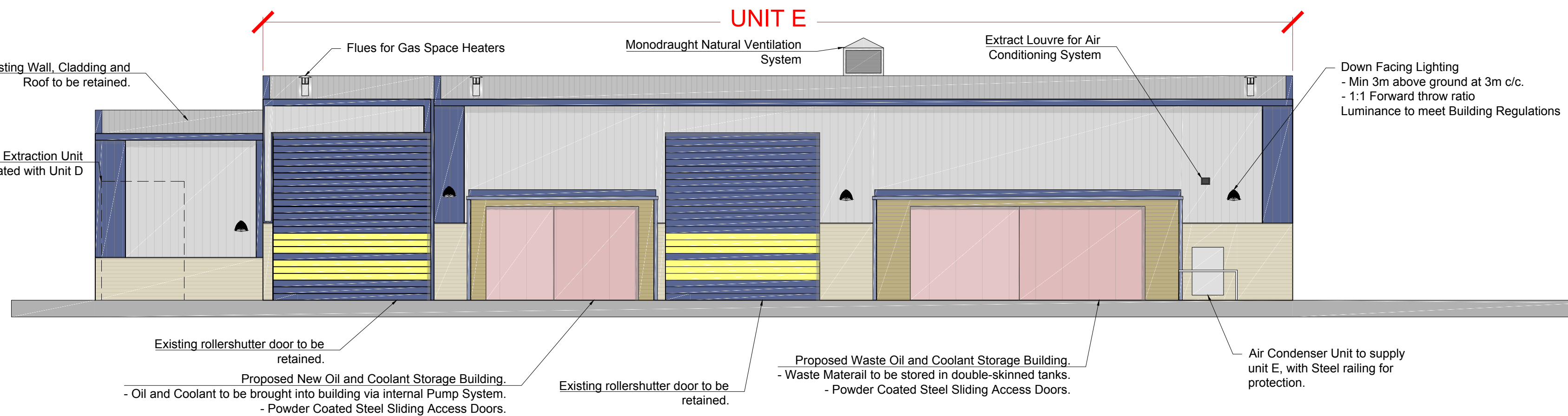
Elevations Drawings:

K - East Facing



Existing Elevation

Notes:



Proposed Elevation

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ

Tel: +44 (0) 121 200 2050

Fax: +44 (0) 121 200 3022

www.cushmanwakefield.com

Client: Vitec Videocom Ltd

Project: Unit D, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Existing and Proposed
 Elevation K

Scale: 1:100 @ A2 Drawn by: MC

Date: March 2016 Checked by: AI

Drawing Number: Revision:



305

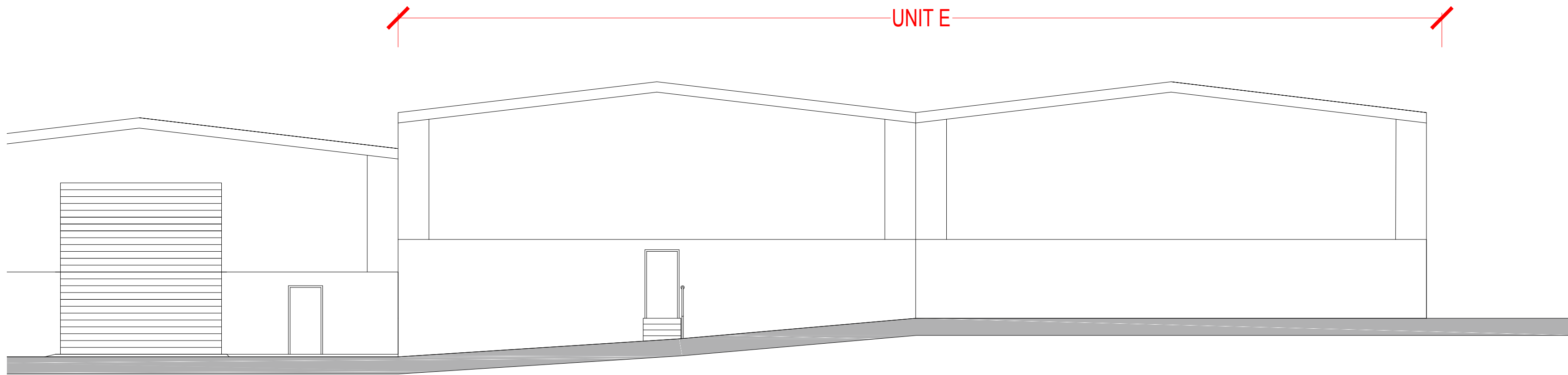
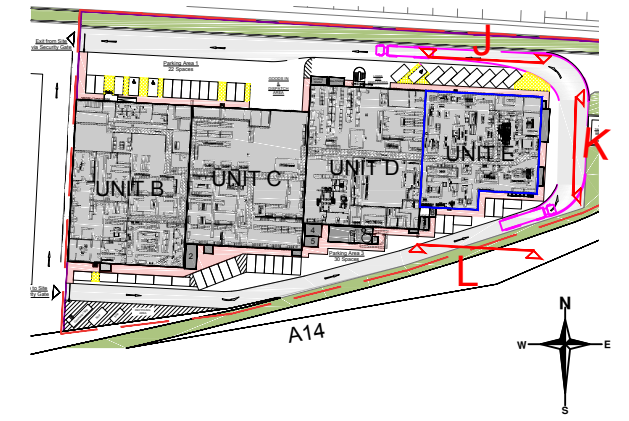
S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT E - PLANNING

Unit E, Anglian Lane - Elevation L, South Facing

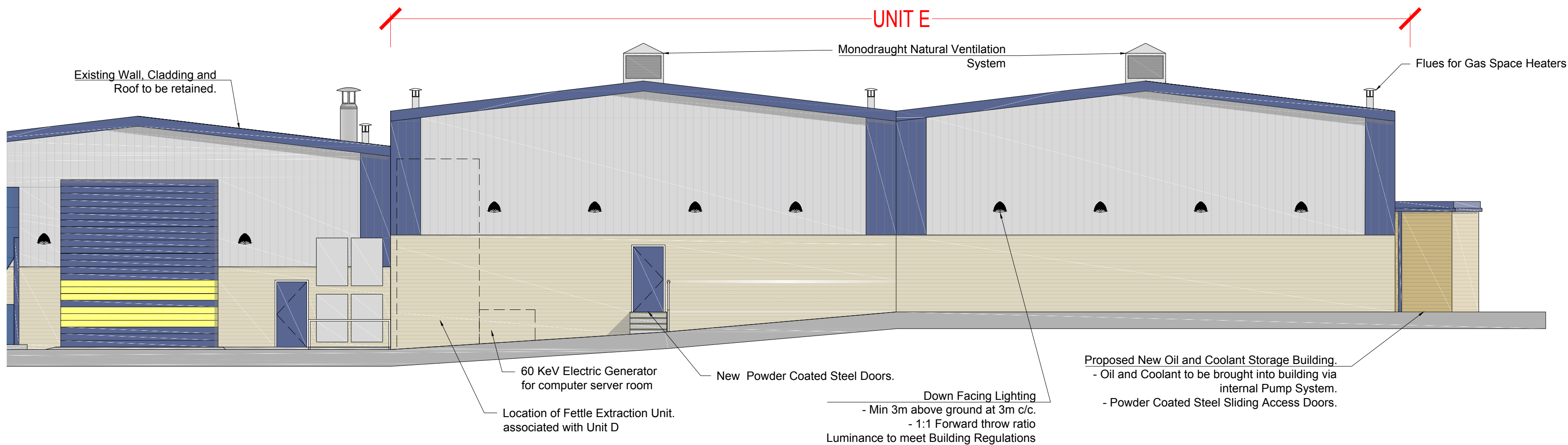
Scale 1:100

Do not scale this drawing - In all cases figured dimensions to be followed
 All dimensions to be checked on site before work commences
 © This drawing is the copyright of Cushman & Wakefield and may not be reproduced in part or in whole without prior written permission

Elevations Drawings: L - South Facing A14



Existing Elevation



Proposed Elevation

Notes:

Revision	Description	Date	Drawn

PLANNING



No. 1 Colmore Square
 4th Floor
 Birmingham
 B4 6AJ
 Tel: +44 (0) 121 200 2050
 Fax: +44 (0) 121 200 3022
 www.cushmanwakefield.com

Client: Vitec Videocom Ltd
 Project: Unit D, Anglian Lane Industrial Estate
 Bury St Edmunds

Drawing: Existing and Proposed
 Elevation L

Scale: 1:100 @ A2 Drawn by: MC
 Date: March 2016 Checked by: AI
 Drawing Number: Revision: 306
 S:\Bcons\Open Jobs\VITEC\Anglian Lane\Architectural\Stage 3\00 Latest Drawing Issue\UNIT E - PLANNING